





**SELECT ROAD PAVEMENT SECTIONS FROM DETAIL R-050 AS FOLLOWS:**

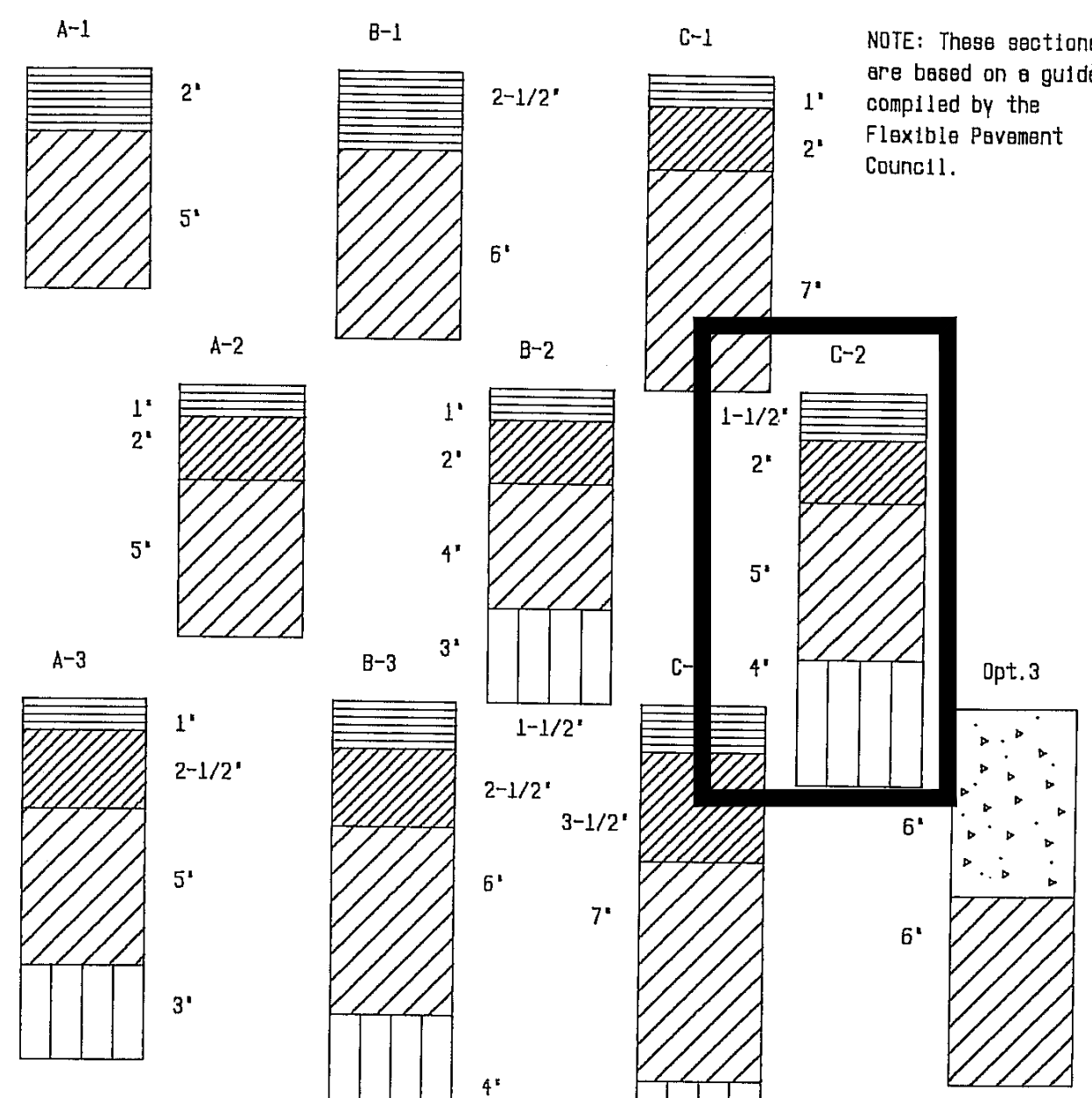
1. Check Soils Survey to determine soils series of soil to be used in the subgrade.
2. Determine the Subgrade Support Class of the soils series from the table below.

SUBGRADE SUPPORT CLASS	SOILS SERIES
A (good - excellent)	Berke and rock land and Weikert when Weikert when shale content is high (40% or greater retained on the No. 4 screen).
B (medium)	Ashton, Berke, Blairton, Braddock, Dekalb, Edgemont, Huntington, Leidig, Landes, Lindside, Melvin, Monogahela, and Weikert, and Fraketown when shale content is medium to high.
C (poor)	Benevola, Chilhowie, Clifton, Duffield, Franktown, Fedwick, Hagerstown, Openon

3. Select the appropriate road section based on the proposed use of the pavement and the Subgrade Support Class.

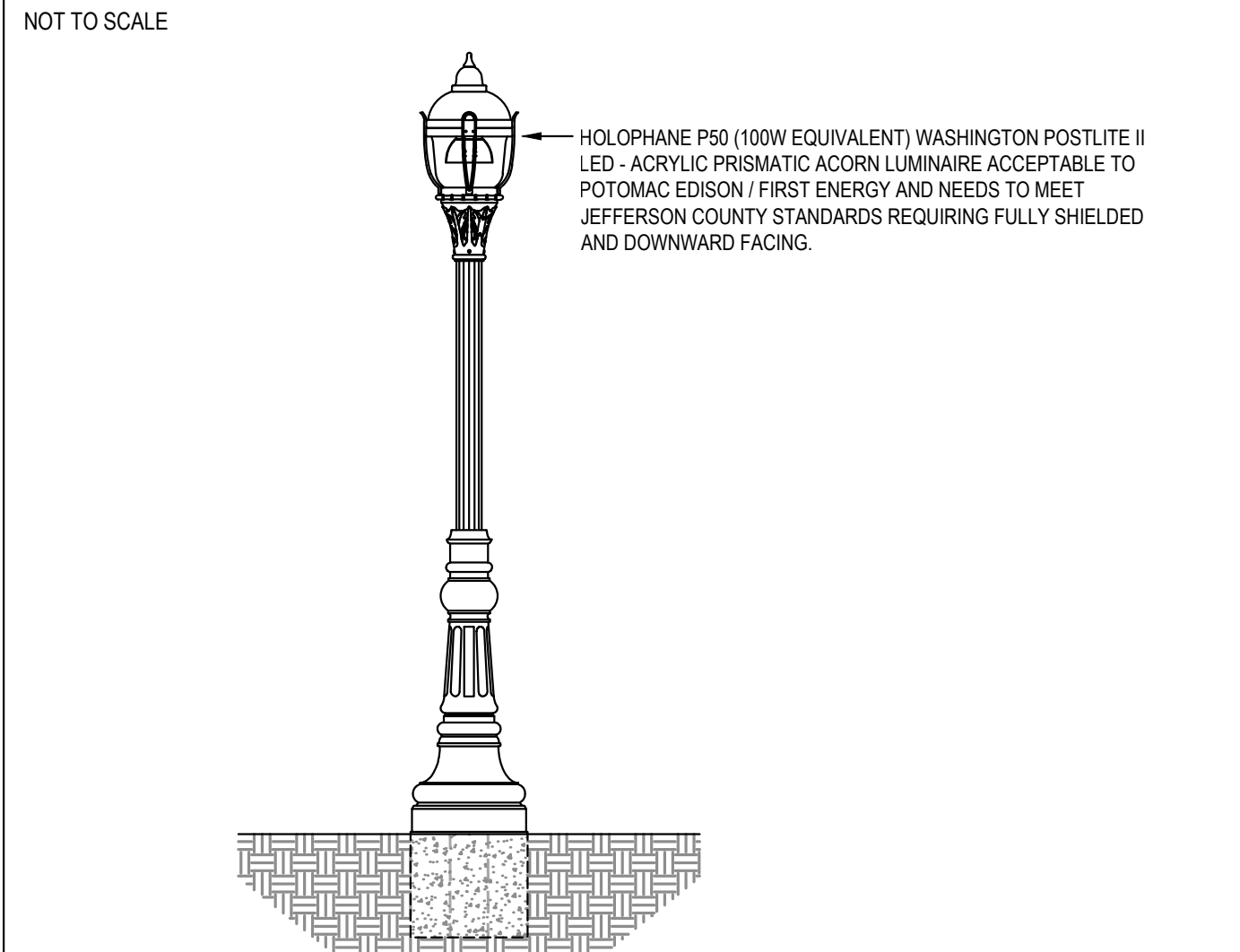
USE	ROAD SECTION
Residential driveways and small parking lots with 50 stalls or less and no trucks	A-1, B-1, C-1
Subdivision roads and large parking lots	A-2, B-2, C-2
State road widening, industrial parking lots, and truck driveways	A-3, B-3, C-3

JEFFERSON COUNTY, WEST VIRGINIA	APPROVED: Jan 25, 1995	SURFACE SECTION SELECTION	REVISIONS: R	DETAIL NO. -05A
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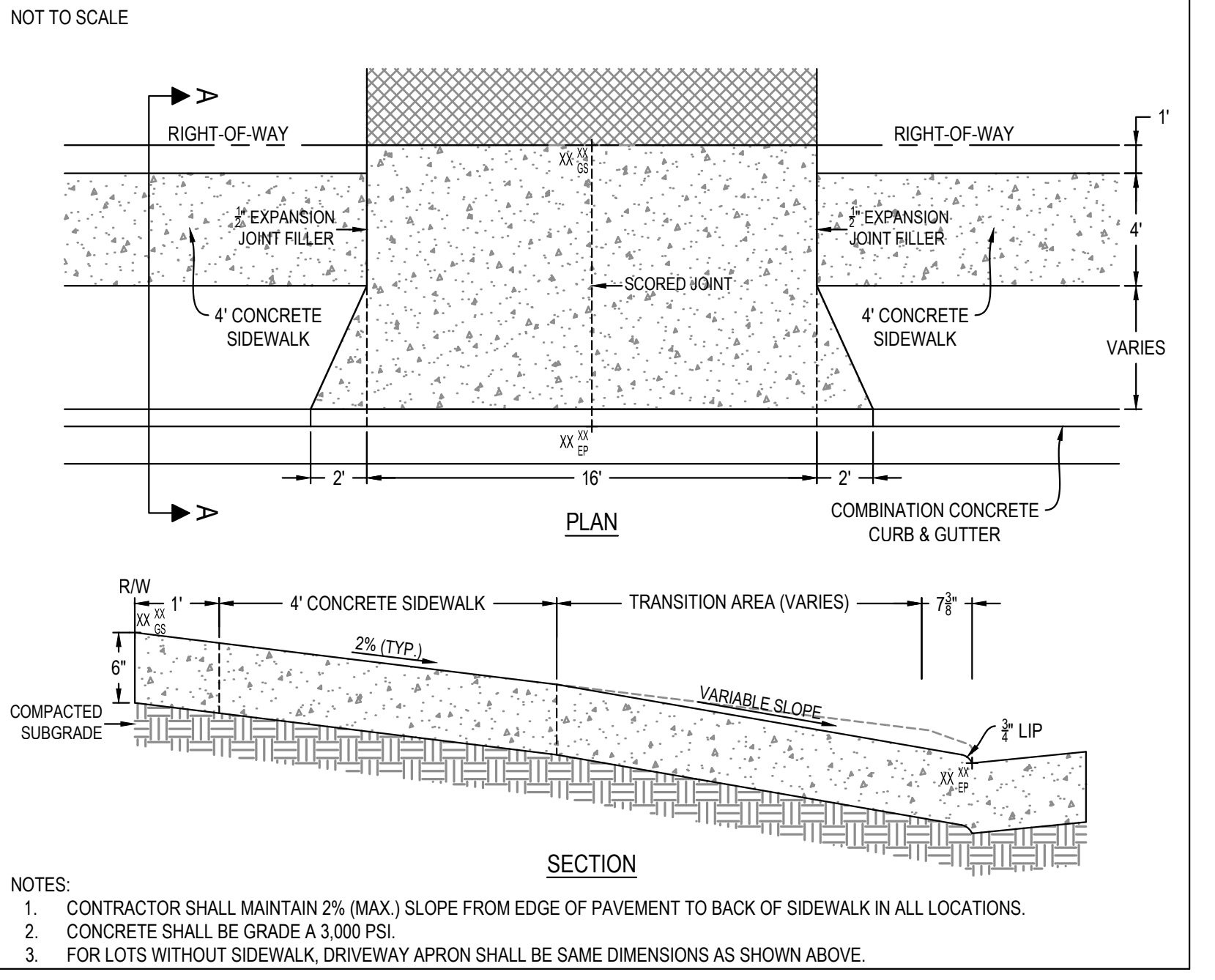
JEFFERSON COUNTY, WEST VIRGINIA	APPROVED: Jan 25, 1995	ROAD SURFACE SECTIONS	REVISIONS: R	DETAIL NO. -05B
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**TYPICAL LIGHT POLE & FIXTURE:**



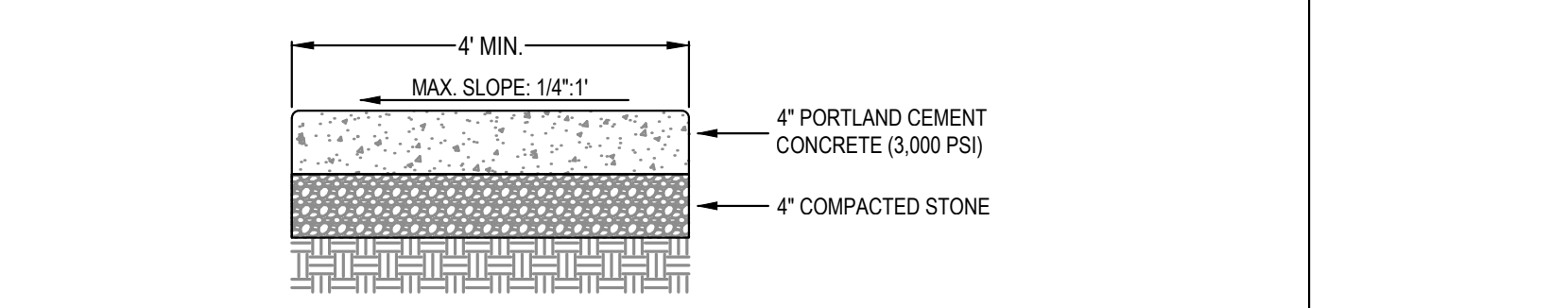
- NOTES:
1. LIGHTS SHALL CONFORM TO POTOMAC EDISON/FIRST ENERGY'S REQUIREMENTS PERTAINING TO WATTS, LUMENS, DOWNLIGHT REFLECTORS AND RESIDENTIAL SHIELDS.
  2. LIGHT POLES SHALL CONFORM TO ALL POTOMAC EDISON/FIRST ENERGY REQUIREMENTS FOR JEFFERSON COUNTY.
  3. LIGHTS SHALL BE MOUNTED ON FLAT BLACK POLES WITH ACORN STYLE TOPS.
  4. STREET LIGHTING WIRING SHALL BE VIA UNDERGROUND DISTRIBUTION.
  5. A STREET LIGHT SHALL BE PROVIDED AT ALL INTERSECTIONS. THE PLACEMENT OF STREET LIGHTING FIXTURES SHALL BE AT 400-600 FOOT INTERVALS UNLESS:
    - 5.1. THE ROADWAY LENGTH IS LESS THAN 400 FEET, BUT MORE THAN 200 FEET, IN WHICH CASE A STREET LIGHT SHALL BE PROVIDED AT THE END OF THE STREET, OR
    - 5.2. THE ROADWAY LENGTH IS LESS THAN 200 FEET, A STREET LIGHT IS PLACED AT THE INTERSECTION, NO NATURAL FEATURES INTERFERE WITH THE LIGHT, AND NO STREET LIGHT WILL BE PLACED AT THE END OF THE ROADWAY.
  6. MAXIMUM POLE HEIGHT:
    - RESIDENTIAL STREET: 15'
    - THOROUGHFARES: 30', UNLESS THE SPILLOVER FROM THE FIXTURE WILL CAUSE GLARE IN A RESIDENTIAL AREA, IN WHICH CASE THE MAXIMUM HEIGHT SHALL BE 25'.
  7. STREET ILLUMINATION SHALL SATISFY THE REQUIREMENTS OF THE JEFFERSON COUNTY ZONING AND LAND DEVELOPMENT ORDINANCE.
  8. LIGHT POLES INSTALLED IN PARKING AREAS SHALL BE INSTALLED ON A 30" HIGH STRUCTURAL BASE (I.E. REINFORCED CONCRETE PIER) TO PROTECT THEM FROM VEHICLE DAMAGE.

**TYPICAL DRIVEWAY ENTRANCE APRON:**



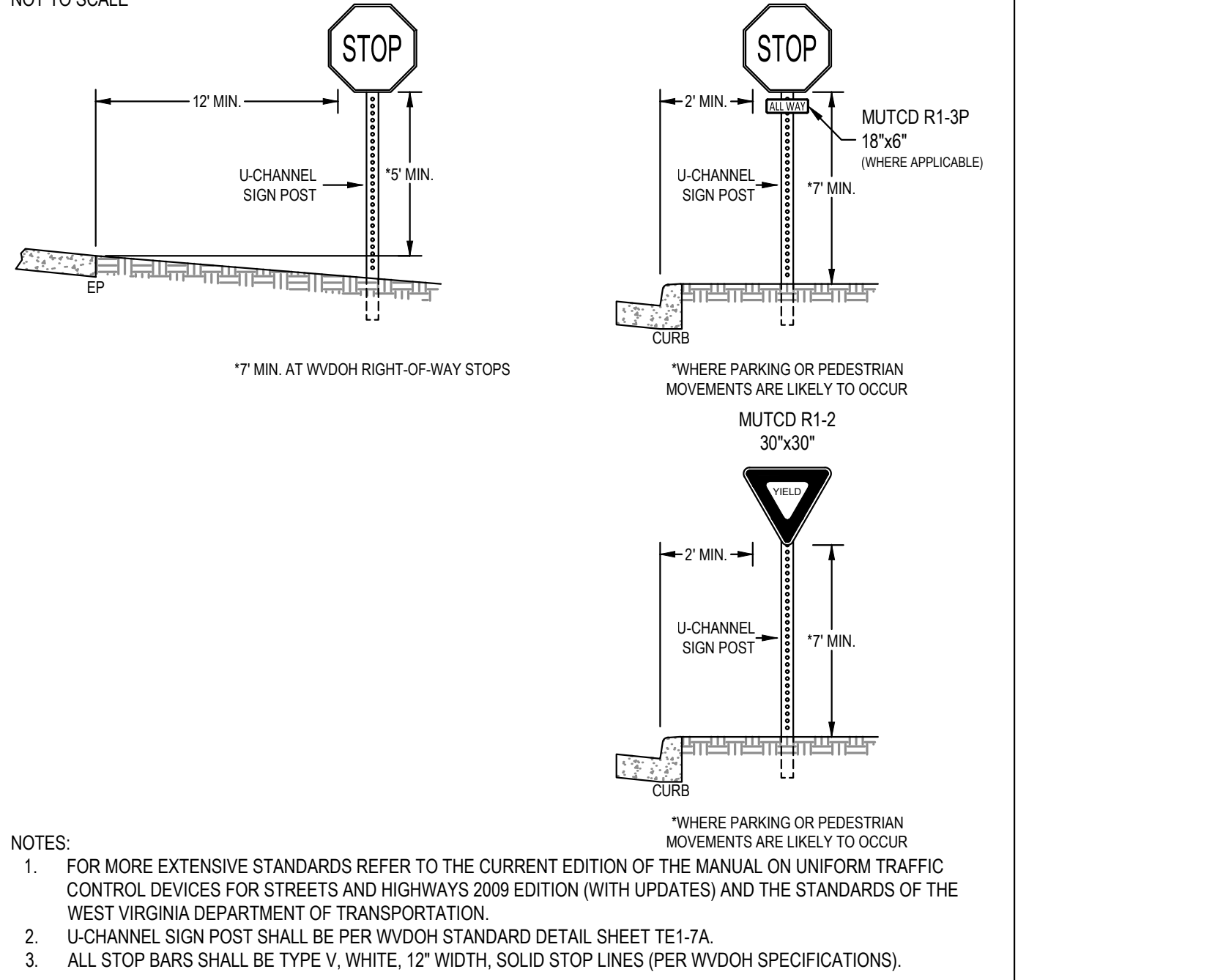
- NOTES:
1. CONTRACTOR SHALL MAINTAIN 2% (MAX.) SLOPE FROM EDGE OF PAVEMENT TO BACK OF SIDEWALK IN ALL LOCATIONS.
  2. CONCRETE SHALL BE GRADE A 3,000 PSI.
  3. FOR LOTS WITHOUT SIDEWALK, DRIVEWAY APRON SHALL BE SAME DIMENSIONS AS SHOWN ABOVE.

**SIDEWALK DETAIL:**

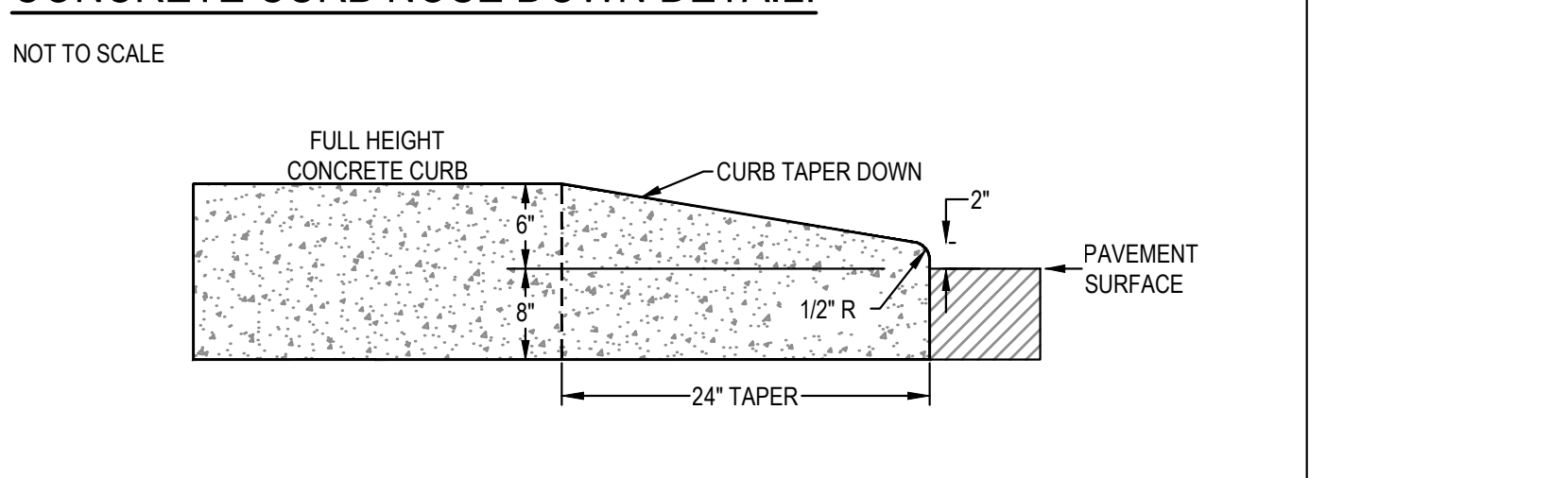


- NOTES:
1. CONCRETE SIDEWALKS SHALL BE AT LEAST 4" THICK EXCEPT UNDER DRIVEWAYS AND STREET INTERSECTIONS WHEN AT LEAST 6" MUST BE USED.
  2. CONSTRUCT 1/4" EXPANSION JOINTS AT 4' INTERVALS. CONSTRUCT 1/2" EXPANSION JOINTS AT 40' INTERVALS AND INTERSECTIONS WITH OTHER PATHS OR SIDEWALKS, RAMPS, DRIVEWAYS, CURBS, POLES OR OTHER PERMANENT STRUCTURES.
  3. CONCRETE SIDEWALK SURFACES SHALL HAVE A LIGHT BRUSH OR BROOM FINISH.
  4. USE THIS CONCRETE WALK DETAIL FOR ANY HVAC PADS.

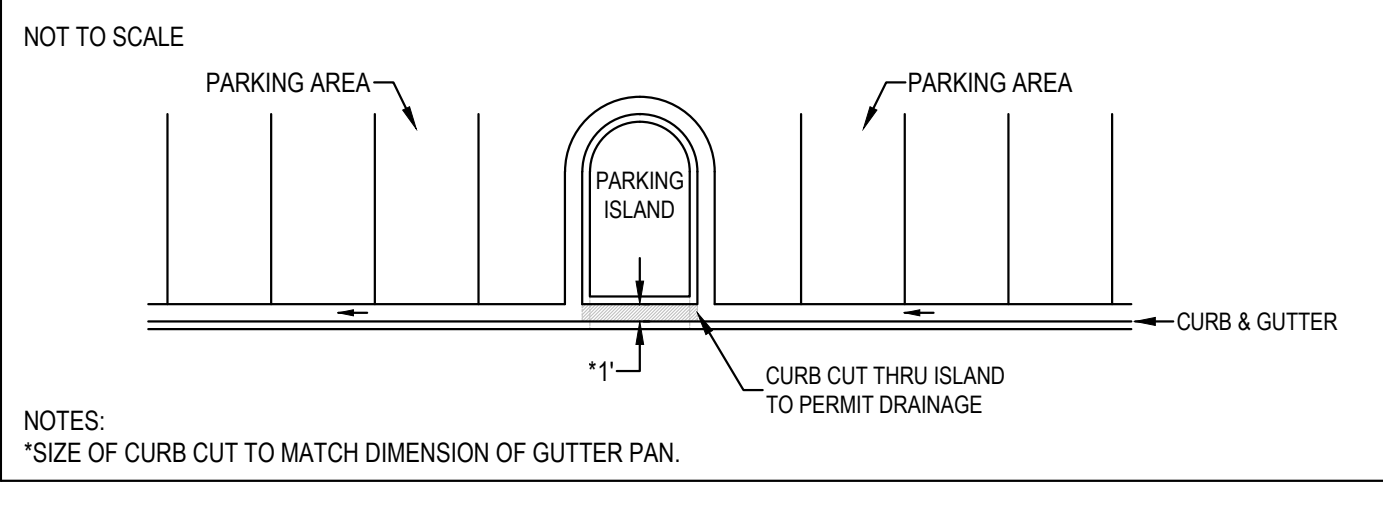
**SIGN DETAILS:**



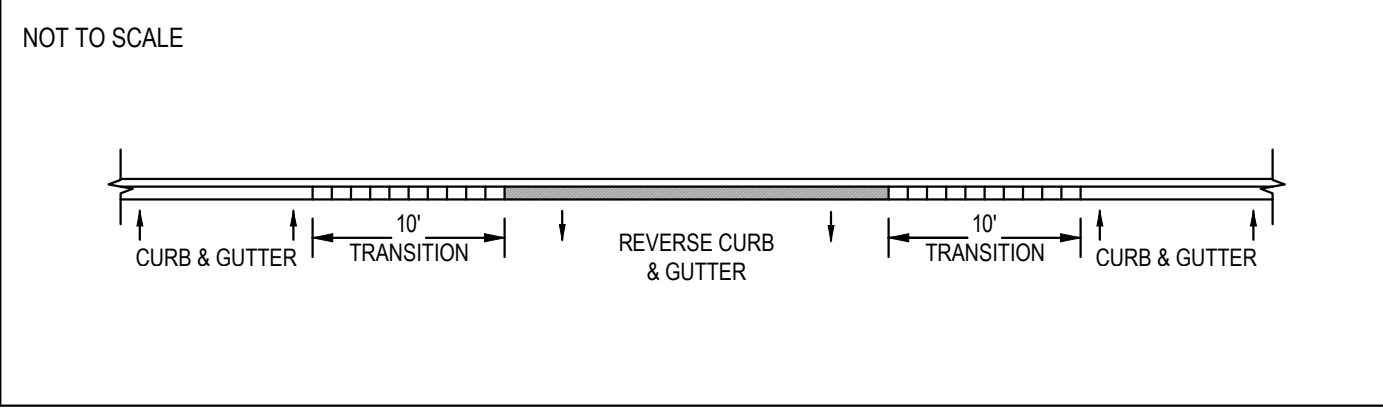
**CONCRETE CURB NOSE DOWN DETAIL:**



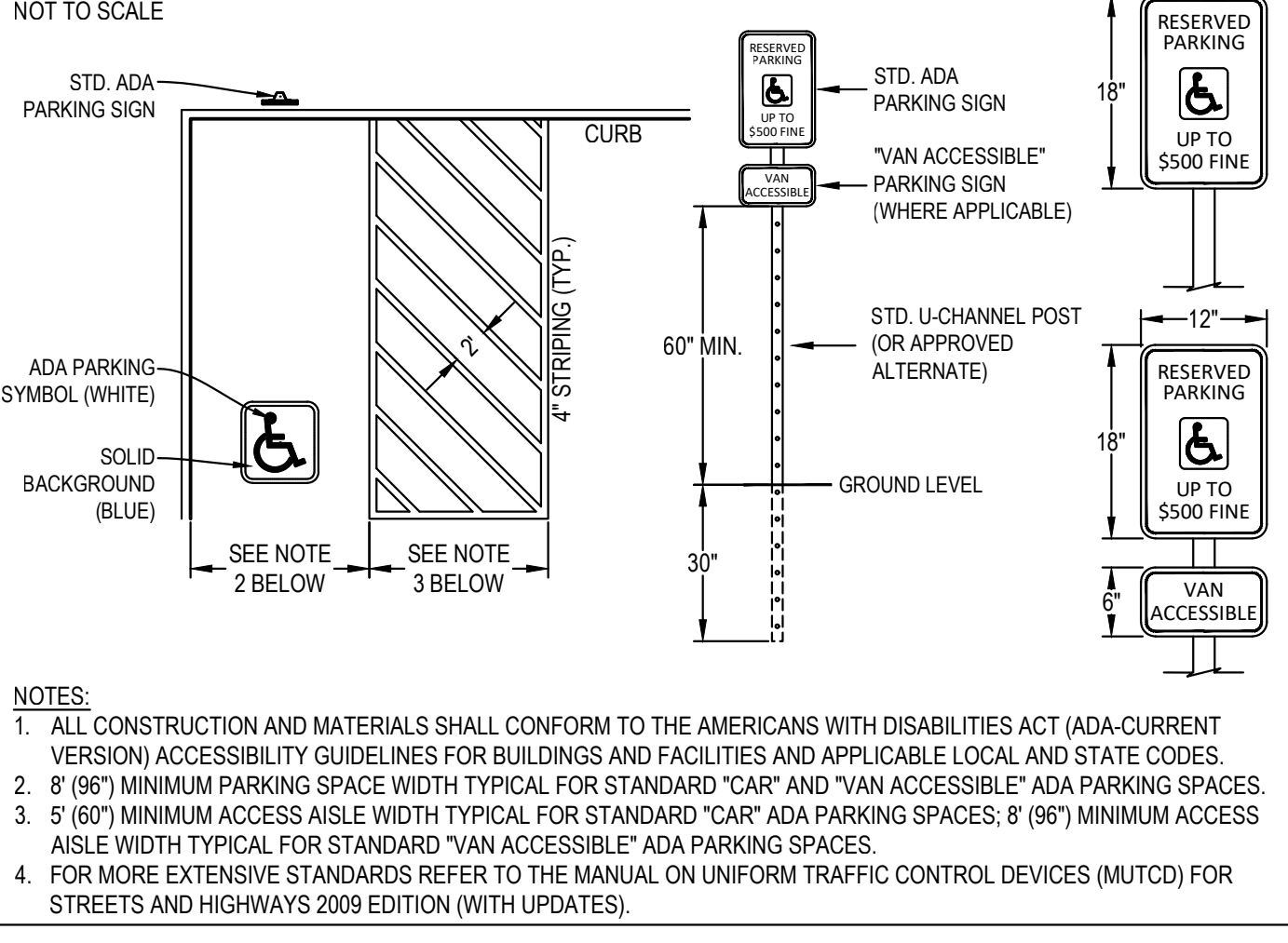
**CONCRETE SCUPPER DETAIL:**



**CURB & GUTTER TRANSITION DETAIL:**

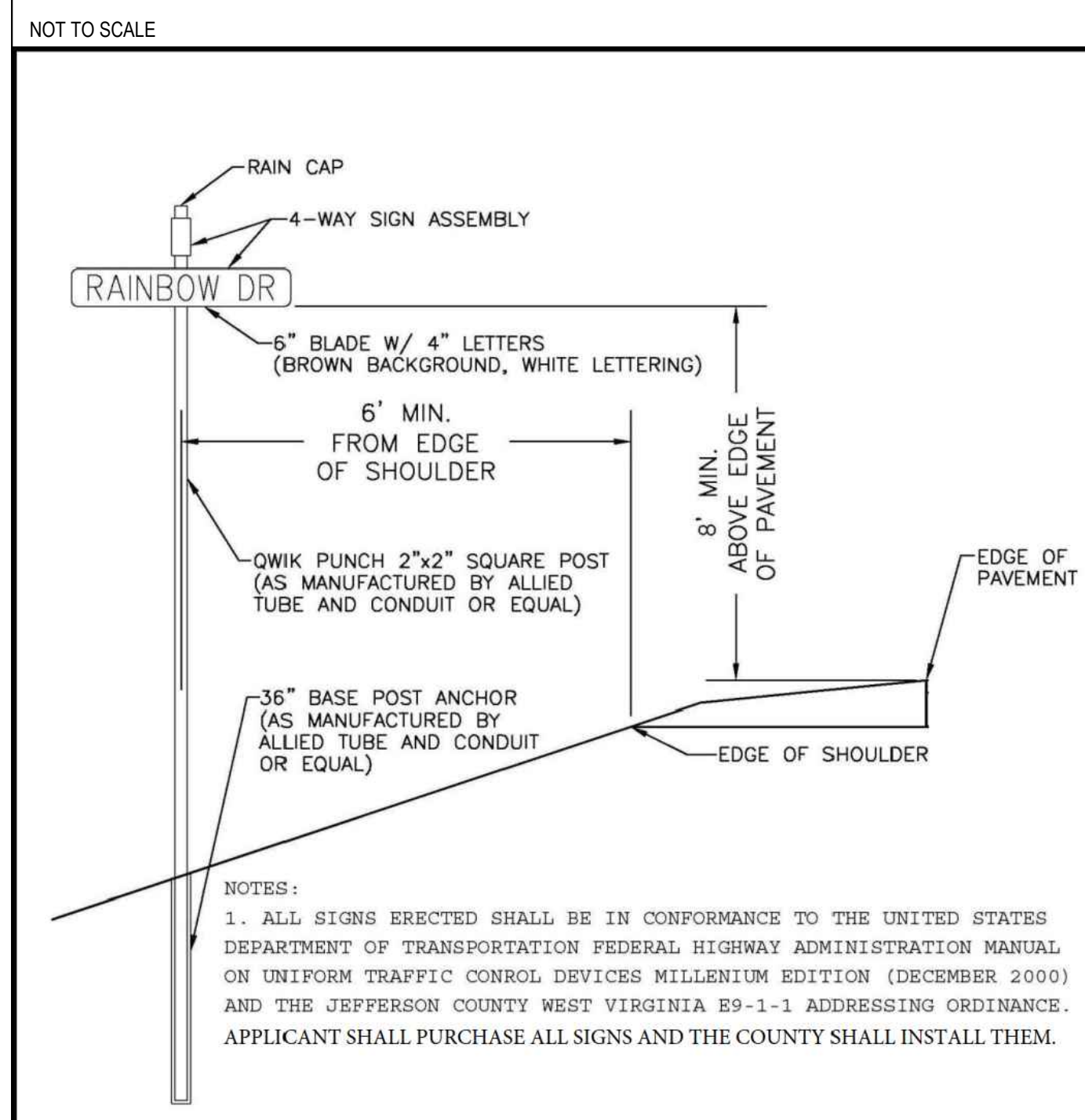


**ADA ACCESSIBLE PARKING & SIGN DETAILS:**



- NOTES:
1. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA-CURRENT VERSION) ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES AND APPLICABLE LOCAL AND STATE CODES.
  2. 8' (96") MINIMUM PARKING SPACE WIDTH TYPICAL FOR STANDARD "CAR" AND "VAN ACCESSIBLE" ADA PARKING SPACES.
  3. 5' (60") MINIMUM ACCESS AISLE WIDTH TYPICAL FOR STANDARD "CAR" ADA PARKING SPACES; 8' (96") MINIMUM ACCESS AISLE WIDTH TYPICAL FOR STANDARD "VAN ACCESSIBLE" ADA PARKING SPACES.
  4. FOR MORE EXTENSIVE STANDARDS REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS 2009 EDITION (WITH UPDATES).

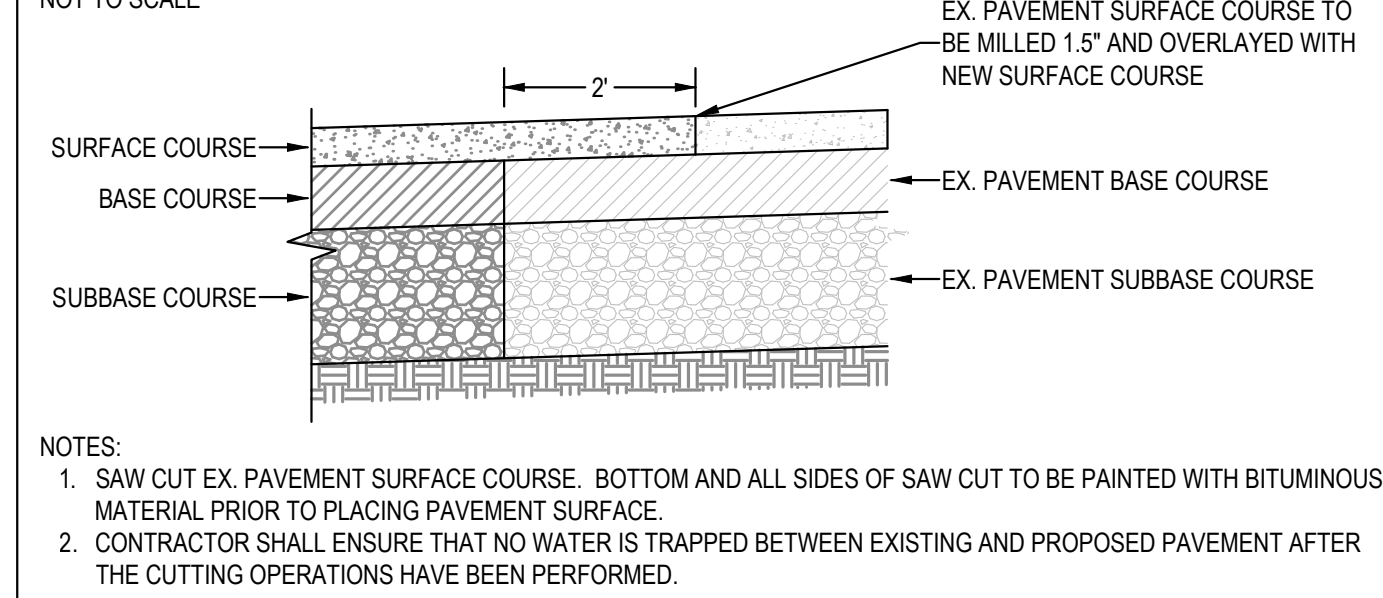
**STREET SIGN DETAILS:**



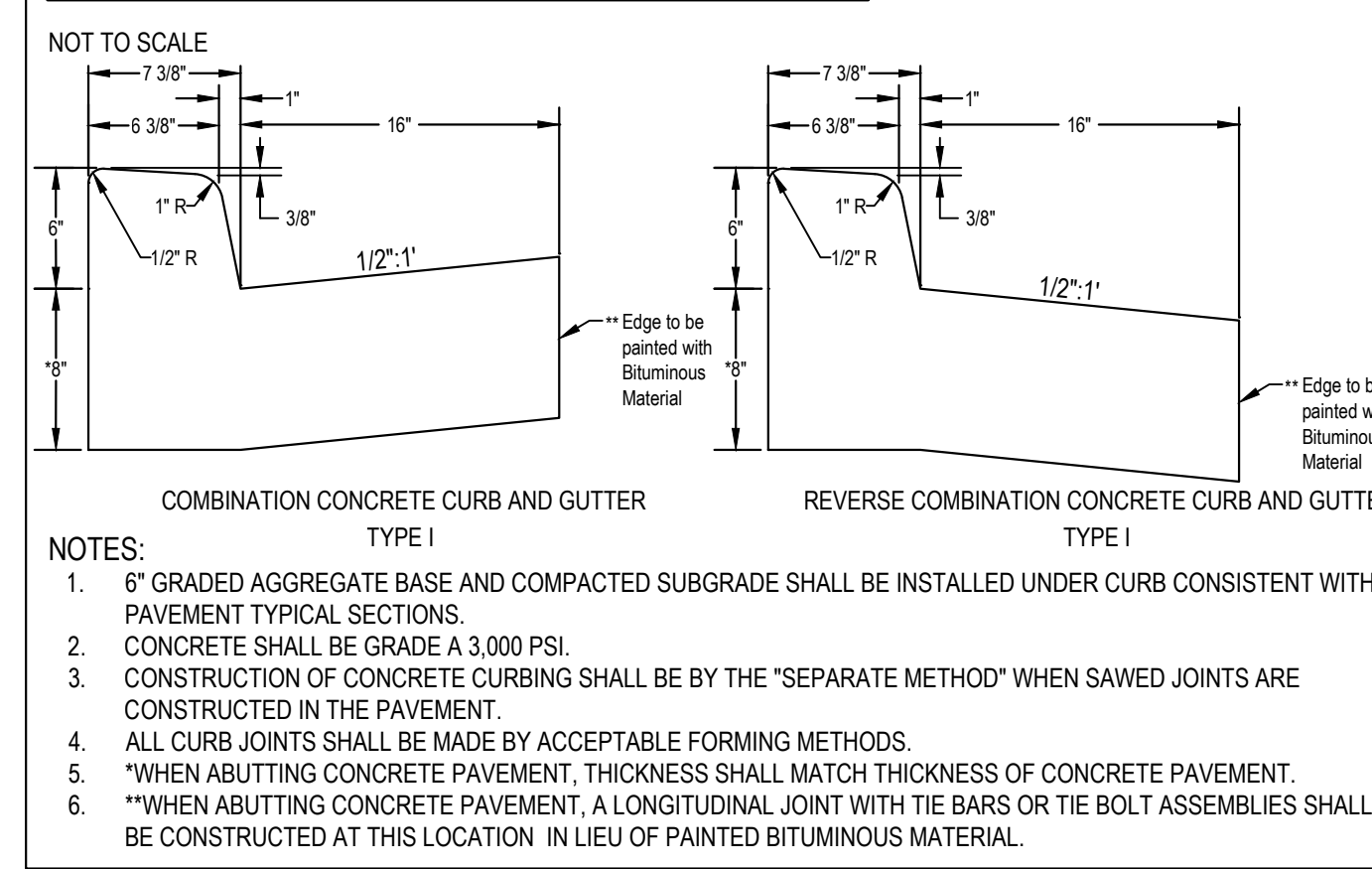
**STREET SIGN DETAILS**

NOT TO SCALE

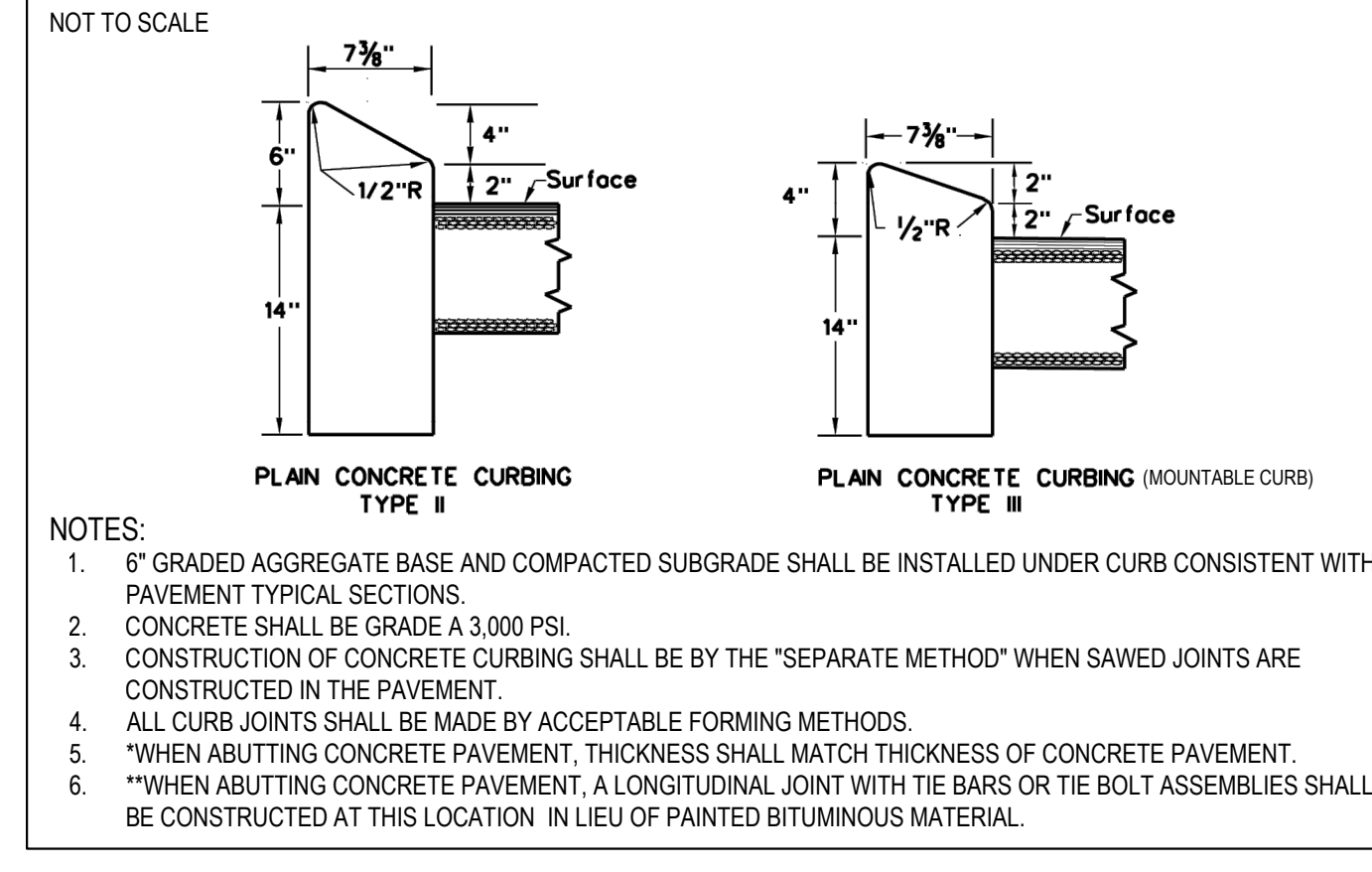
**PAVEMENT WEDGING DETAIL:**



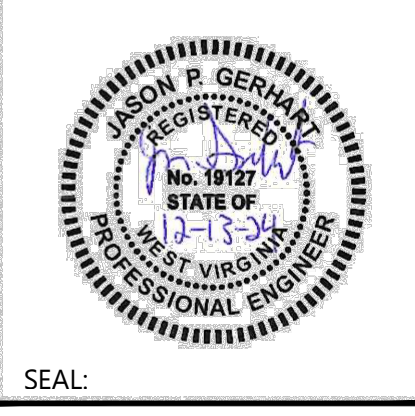
**CONCRETE CURB & GUTTER DETAILS:**



**CONCRETE HEADER CURB DETAILS:**



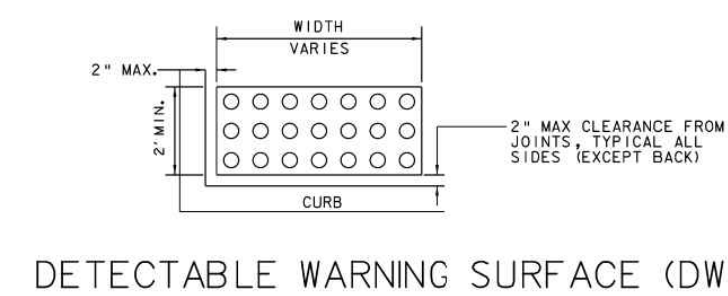
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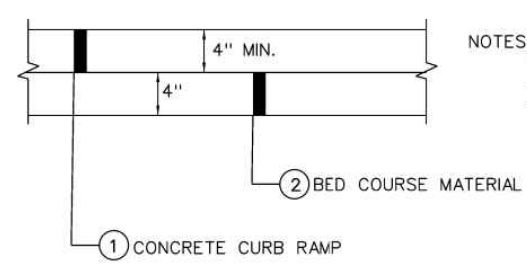
NO.	DATE	REVISIONS
1.	10/23/2024	JEFFERSON COUNTY, WDOH, CTUB, AND WAWV COMMENTS
2.	12/13/2024	JEFFERSON COUNTY AND CTUB PUMP STATION COMMENTS

**BIRDHILL MEADOWS SUBDIVISION PHASE 1**  
 TAX MAP 3, PARCEL 29, D.B. 1291, PG. 381  
 MIDDLEWAY TAX DISTRICT  
 JEFFERSON COUNTY, WEST VIRGINIA  
 J.C. FILE #24-12-SD

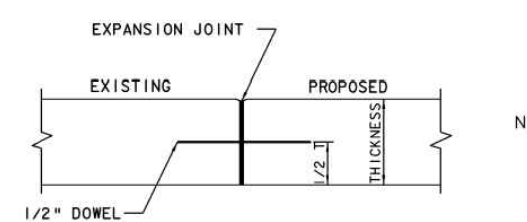
SCALE:	HORIZ: AS NOTED
	VERT: N/A
DATE:	JULY 2024
JOB:	3568-0301
DRAWN:	JMM
CHECK:	JPG
CADD:	C-GI-501.DWG
NCS:	
SHEET:	3 OF 147



DETECTABLE WARNING SURFACE (DWS)



CURB RAMP TYPICAL



CURB RAMP TYPICAL

NOTES: CURB RAMP AND BED COURSE MATERIAL TO BE PAID BY ITEM 609005-001 CURB RAMP. THICKNESS OF CONCRETE SHALL BE INCREASED TO 6" MINIMUM IN AREAS EXPOSED TO TRAFFIC.

NOTE: 1/2" DOWEL TO BE EVENLY SPACED. MINIMUM LENGTH 8" COST OF DOWEL INSTALLATION INCIDENTAL TO COST OF RAMP.

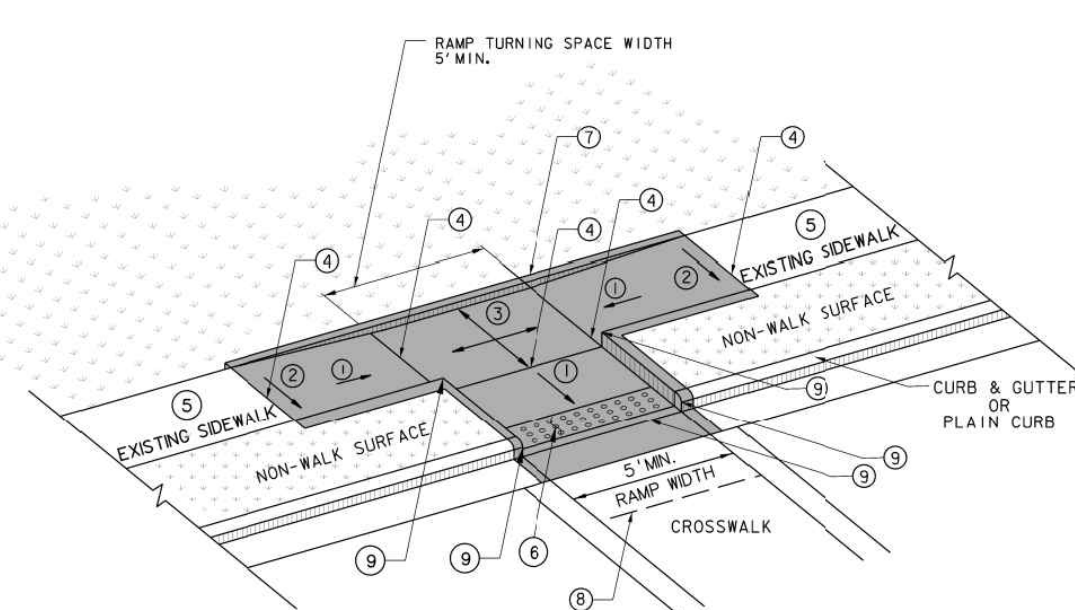
**NOTES**  
 DETECTABLE WARNING SURFACES (DWS)'S SHALL ONLY BE PURCHASED FROM VENDORS ON THE WEST VIRGINIA DIVISION OF HIGHWAYS APPROVED VENDOR LIST 609.2 - DETECTABLE WARNING SURFACES.  
 DESIGN AND PLACEMENT OF DETECTABLE WARNING SURFACE (DWS) SHALL BE IN ACCORDANCE WITH SECTION 609 OF THE CURRENT VDOT, DOT STANDARD SPECIFICATIONS ROADS AND BRIDGES AND ANY SUBSEQUENT DOT SUPPLEMENTAL SPECIFICATIONS AND THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG) DATED JULY 26, 2011.  
 DETECTABLE WARNING SURFACES SHALL EXTEND ACROSS THE FULL WIDTH OF THE CURB RAMP THRESHOLD WHERE THE CURB IS FLUSH WITH THE ROADWAY AND SHALL BE PLACED AT THE BACK OF THE CURB WITH A 0" MINIMUM 2" MAXIMUM BORDER DIMENSION FROM JOINTS ON EACH SIDE OF THE DWS WHERE THE BACK OF THE CURB EDGE IS TOOK TO PROVIDE A RADIUS. THE BORDER DIMENSION SHOULD BE MEASURED FROM THE END OF THE RADIUS.  
 DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT GUTTER, STREET, OR HIGHWAY EITHER LIGHT OR DARK OR DARK ON LIGHT.  
 A WET OR PLASTIC SET-IN-PLACE DETECTABLE WARNING SURFACE (DWS) SHALL BE INSTALLED AT THE TIME OF THE PLACEMENT OF THE CURB RAMP. WHILE THE CONCRETE IS STILL PLASTIC. MOLD-IN-PLACE CONCRETE DOWNS, BROOK PAVERS, OR IRON OR STEEL WARNING SYSTEMS SHALL NOT BE USED.  
 SET-IN-PLACE DWS SHALL BE USED IN NEW CONSTRUCTION. SURFACE MOUNTED DWS ARE NOT PERMITTED.  
 CONCRETE SHALL BE ERODED AROUND THE DWS AT TIME OF PLACEMENT.  
 A SINGLE DWS PANEL SHALL BE USED WITH CURB RAMP WIDTHS OF 5' OR LESS.  
 ANY CUTTING OF DWS DURING INSTALLATION SHALL BE APPROVED BY PROJECT ENGINEER.  
 IF DWS IS CUT TO CONFORM TO A SPECIFIC SHAPE OF RAMP AND ANCHORING DEVICES BECOME PART OF THE WASTE, THEN ANCHOR WILL BE REMOVED AND REATTACHED INTO THE DWS AT THE ORIGINAL EDGE OFFSET AS PER MANUFACTURER.  
 ALL DOWEL BARS SHALL BE EPOXY COATED IN ACCORDANCE WITH SECTION 709.1 OF THE CURRENT VDOT STANDARD SPECIFICATIONS ROADS AND BRIDGES

WEST VIRGINIA DEPARTMENT OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 STANDARD SHEET

REVISION	DATE	DESCRIPTION

**SIDEWALK RAMPS**  
 (Sheet 11 of 13)  
**DETECTABLE WARNING SURFACES & TYPICALS**  
 STANDARD SHEET PVT 7

NOT TO SCALE



TYPE IV RAMP

- LEGEND**
- 8.33% (12:1) MAXIMUM RAMP SLOPE INCLUDING CONSTRUCTION TOLERANCE. SLOPE OF RAMP SHALL CARRY THROUGH TO FACE OF CURB
  - CROSS SLOPE: 2.00% MAXIMUM INCLUDING CONSTRUCTION TOLERANCE
  - CURB RAMPS REQUIRE A (10'-0") MINIMUM TURNING SPACE WHERE PEDESTRIANS PERFORM TURNING MANEUVERS WITH A MAXIMUM CROSS SLOPE OF 2% AND LONGITUDINAL SLOPE MATCHING ROADWAY
  - GRADE BREAK REQUIRED TO BE FLUSH (0") AND PERPENDICULAR TO PEDESTRIAN PATH OF TRAVEL
  - IF SIDEWALK IS EXISTING AND NON-COMPLIANT SEE "TRANSITION TO EXISTING NON-COMPLIANT SIDEWALK" DETAIL SHEET 12
  - UTILIZABLE WARNING SURFACE SEE "DETECTABLE WARNING SURFACE (DWS)" DETAIL SHEET 11
  - CURB WALL OR CHECK WALL AS DICTATED BY FIELD CONDITIONS SEE "EXISTING ADJACENT SURFACE TRANSITION" DETAIL SHEET 13
  - CLEAR SPACE - WIDTH OF CURB RAMP AND EXTENDING 4' MINIMUM
  - 3/4" CHAMFER EDGE

PAY LIMITS FOR CURB RAMPS (EXCLUDING DWS)

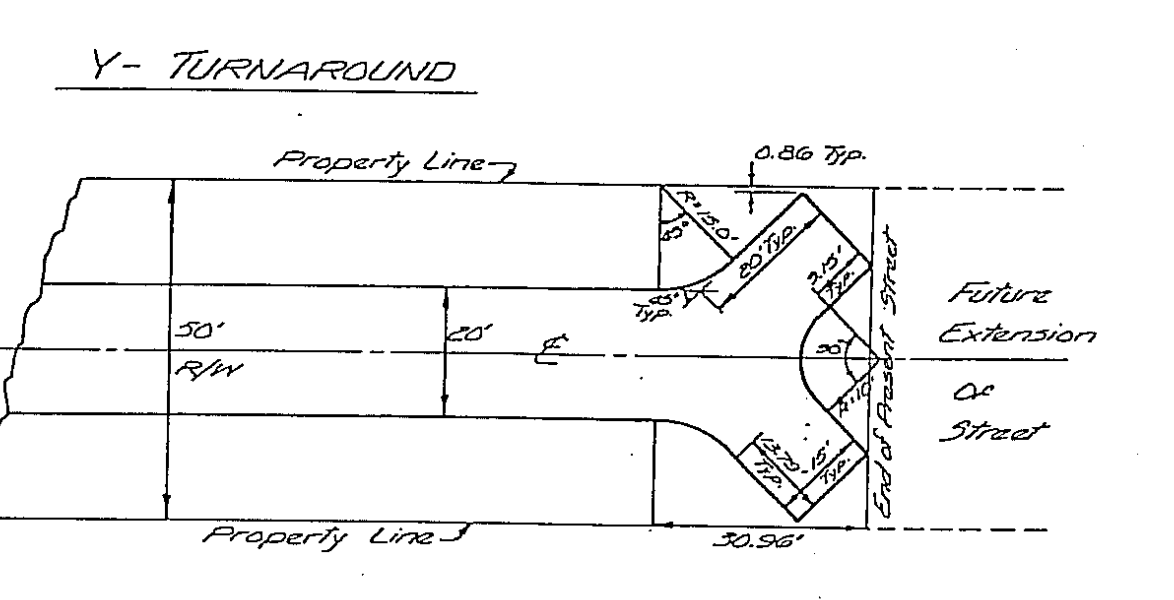
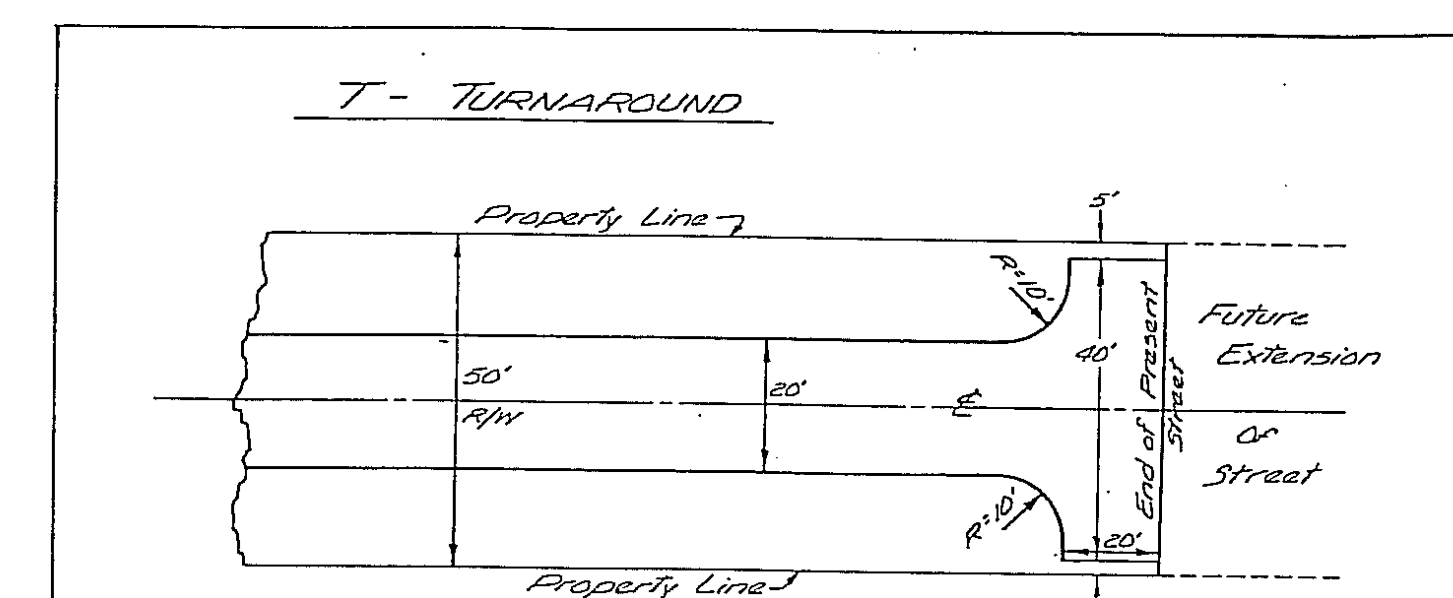
NOT TO SCALE

**NOTES**  
 THE TYPE OF RAMP TO BE USED SHALL BE AS SPECIFIED ON THE PLANS. THESE STANDARDS CAN BE CONSIDERED GUIDELINES IN SELECTING RAMP TYPES, HOWEVER THEY CAN BE DEVIATED FROM WITH A SPECIFIC DETAIL AS NOTED IN PLANS.  
 RAMP CONCRETE SHALL MEET THE REQUIREMENTS OF SECTION 609 OF THE CURRENT VDOT, DOT STANDARD SPECIFICATIONS ROADS AND BRIDGES AND ANY SUBSEQUENT DOT SUPPLEMENTAL SPECIFICATIONS AND THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG) DATED JULY 26, 2011. RAMP SURFACE SHALL INCLUDE A "DETECTABLE WARNING SURFACE" (SEE PVT 7 SHT. 11 OF 13) AS SHOWN FOR EACH RAMP TYPE. A COARSE BROOM FINISH, TRANSVERSE TO FLARE SLOPES, OR EQUAL NON-SKID FINISH SHALL BE PROVIDED ON CONCRETE SURFACES.  
 NORMAL GUTTER FLOW LINE AND PROFILE SHALL BE MAINTAINED THROUGH THE RAMP AREA, UNLESS OTHERWISE SHOWN OR SPECIFIED. PROTECTIVE DEVICES MUST BE MAINTAINED SO THAT NO PONDING OCCURS WITHIN THE RAMP OR CLEAR SPACE AREA.  
 1/4" MINIMUM 1/2" MAXIMUM PREFORMED EXPANSION JOINT FILLER, MEETING THE REQUIREMENTS OF SECTION 609 OF THE SPECIFICATIONS, AS NOTED ABOVE, SHALL BE PLACED AT ALL LOCATIONS WHERE RAMP CONTACTS CURB, GUTTER, CONCRETE PAVEMENT, OR OTHER ROAD OBJECTS.  
 WHERE EXISTING SIDEWALK CONNECTS TO PROPOSED SIDEWALK OR RAMPS, EXPANSION JOINTS ALONG WITH DOWEL BARS WILL BE PLACED. DOWEL BARS WILL BE UTILIZED BETWEEN EXISTING AND PROPOSED TO REDUCE VERTICAL CHANGE. SEE SHEET 11 FOR ADDITIONAL INFORMATION. LOCATIONS WILL BE UTILIZED DURING DEMOLITION OF EXISTING SIDEWALKS. SIMILAR METHODS MAY BE USED UPON APPROVAL BY FIELD ENGINEER.  
 RAMPS SHALL NOT BE PLACED IN LINE WITH DRAINAGE STRUCTURES. LOCATION OF THE RAMP SHALL TAKE PRECEDENCE OVER LOCATION OF THE DRAINAGE STRUCTURE, EXCEPT WHERE EXISTING STRUCTURES ARE BEING UTILIZED FOR CONSTRUCTION OF NEW RAMPS.  
 ANY GRATE IN PEDESTRIAN AREAS SHALL HAVE OPENINGS NOT GREATER THAN 1/2" AND SHALL BE PLACED WITH LONG DIMENSION OF OPENING PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAVEL.  
 IF THE 8.33% (12:1) SLOPE CANNOT BE OBTAINED DUE TO GRADE OF THE ADJACENT ROADWAY, THE SLOPED PORTION OF THE RAMP SHALL BE EXTENDED TO A MINIMUM LENGTH OF 15'-0". EXISTING CROSS WALK AND STOP BAR MARKINGS TO BE ERADICATED AND RELOCATED AS DICTATED BY PROPOSED RAMP LOCATIONS. COST NOT INCIDENTAL TO COST OF PROPOSED RAMP.  
 CURB RAMP WIDTH SHALL MATCH SIDEWALK WIDTH PLUS CLEARANCE. TYPICAL SIDEWALK WIDTH IS 5' MINIMUM. RAMP WIDTHS LESS THAN 5' REQUIRE DIVISION/DISTRICT ENGINEER APPROVAL. WIDTHS LESS THAN 4' REQUIRE AN EXCEPTION JUSTIFICATION REPORT. SEE SHEET 11 FOR INFORMATION REGARDING RAMP THICKNESS.  
 GRADE BREAKS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.  
 CLEAR SPACE: BEYOND THE BOTTOM GRADE BREAK A CLEAR SPACE THE WIDTH OF THE CURB RAMP AND EXTENDING 4' MINIMUM INTO THE ADJUTING ROADWAY SHALL BE PROVIDED WITHIN THE WIDTH OF THE PEDESTRIAN STREET CROSSING AND WHOLLY OUTSIDE THE PARALLEL TRAVEL LANE. SURFACE TO MATCH EXISTING. ANY CLEAR SPACE WORK TO BE COMPLETED WILL BE INCIDENTAL TO THE COST OF THE RAMP.  
 ALL CURB RAMPS SHALL BE CONSTRUCTED TO PROVIDE ACCESS TO EXISTING OPERABLE PARTS. AN EXAMPLE OF THIS WOULD BE PEDESTRIAN PUSH BUTTONS.

WEST VIRGINIA DEPARTMENT OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 STANDARD SHEET

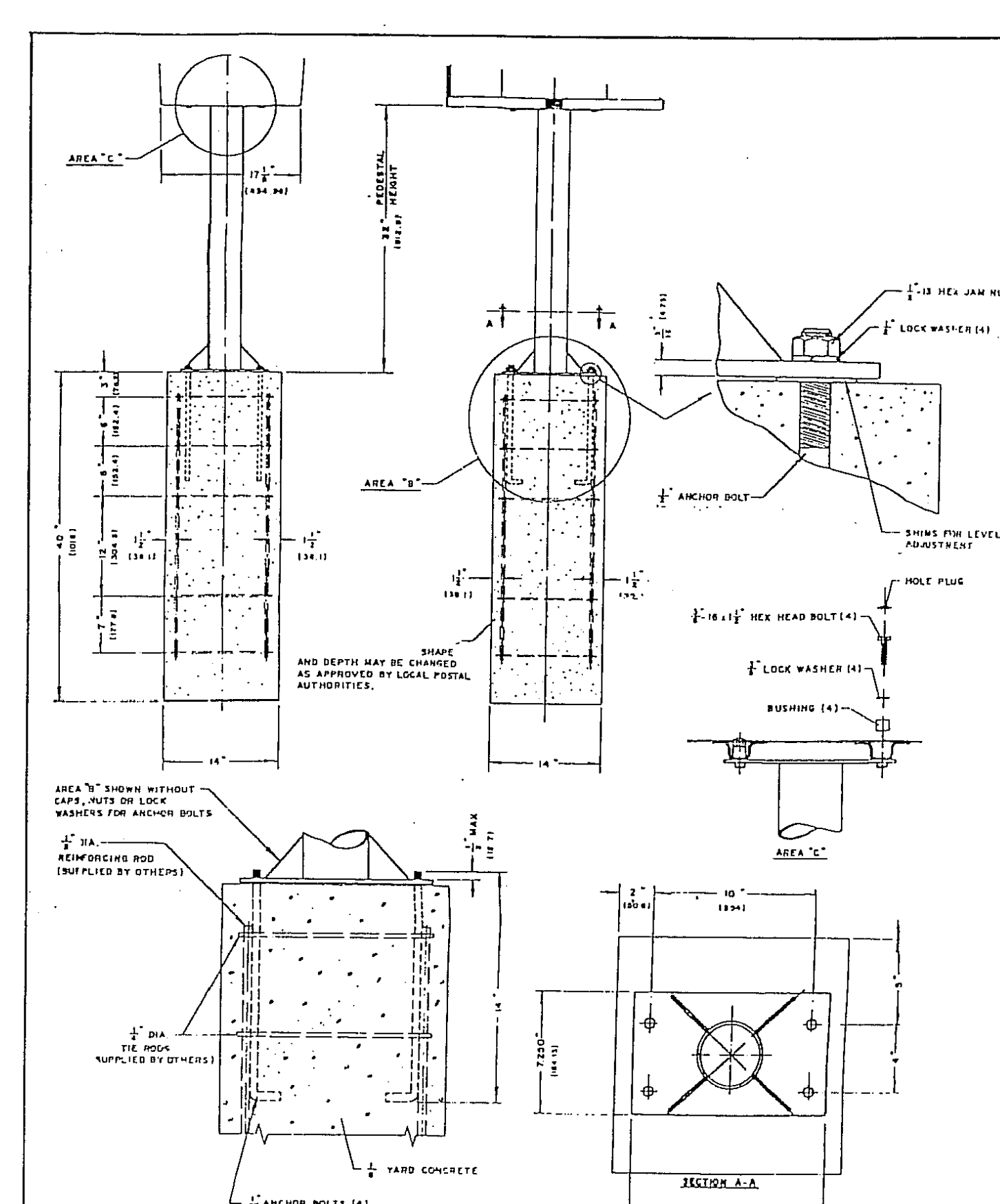
REVISION	DATE	DESCRIPTION

**SIDEWALK RAMPS**  
 (Sheet 9 of 13)  
**TYPE IV RAMP**  
 STANDARD SHEET PVT 7

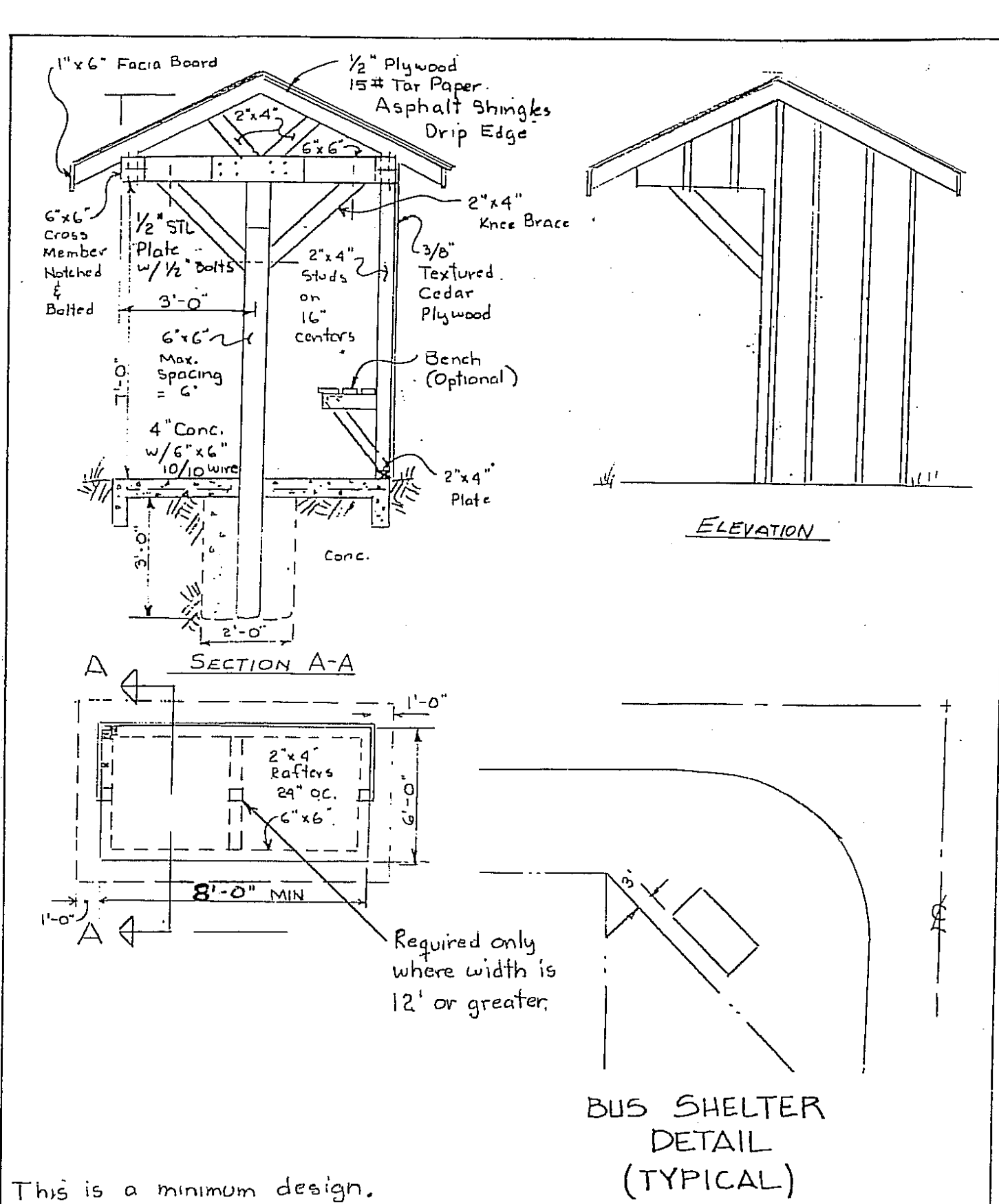


A "T" or "Y" Turnaround shall be used in lieu of a cul-de-sac only if the street is to be extended in the future.

JEFFERSON COUNTY, WEST VIRGINIA	APPROVED: March 14, 1993	<b>TEMPORARY TURNAROUND</b>	REVISIONS:	DETAIL No.
	<i>[Signature]</i>			<b>R -04</b>



JEFFERSON COUNTY, WEST VIRGINIA	APPROVED: April 17, 1993	mail box anchorage	REVISIONS:	DETAIL No.
	<i>[Signature]</i>			<b>-M -31</b>



JEFFERSON COUNTY, WEST VIRGINIA	APPROVED: March 15, 1990	TYPE A SCHOOL BUS SHELTER	REVISIONS:	DETAIL No.
	<i>[Signature]</i>		<b>4/13/93 JL 1/25/95 JL</b>	<b>M -11</b>

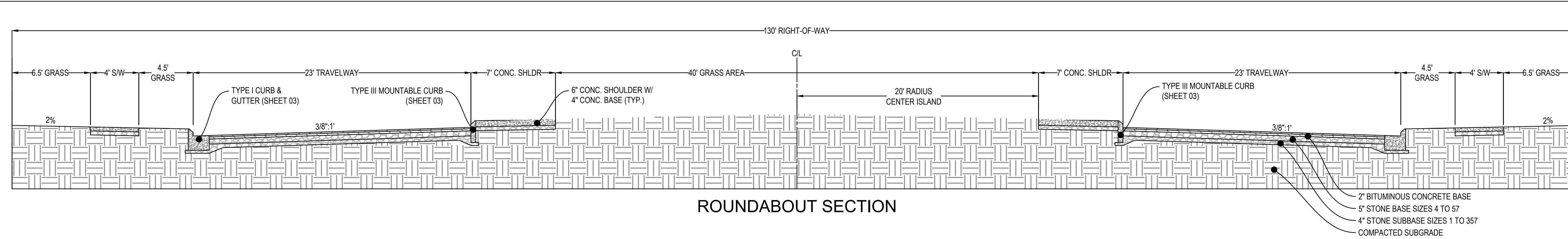
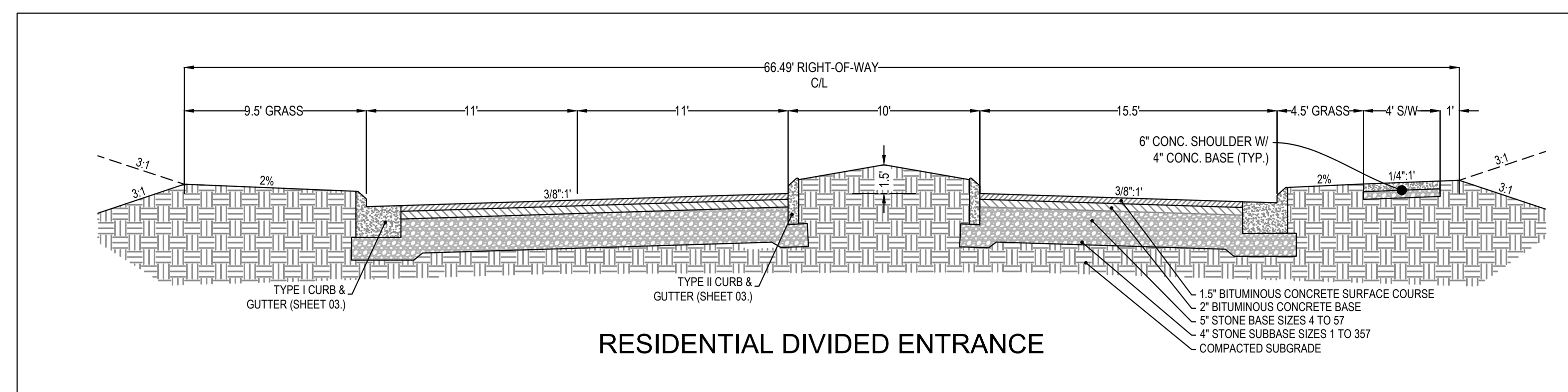
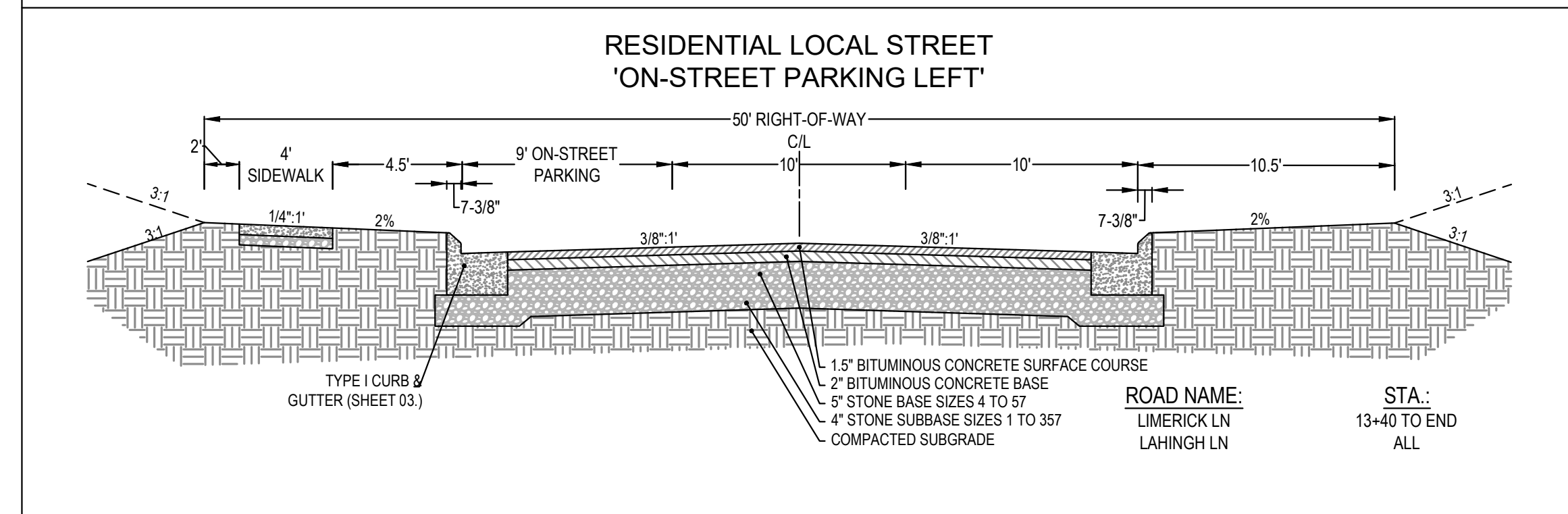
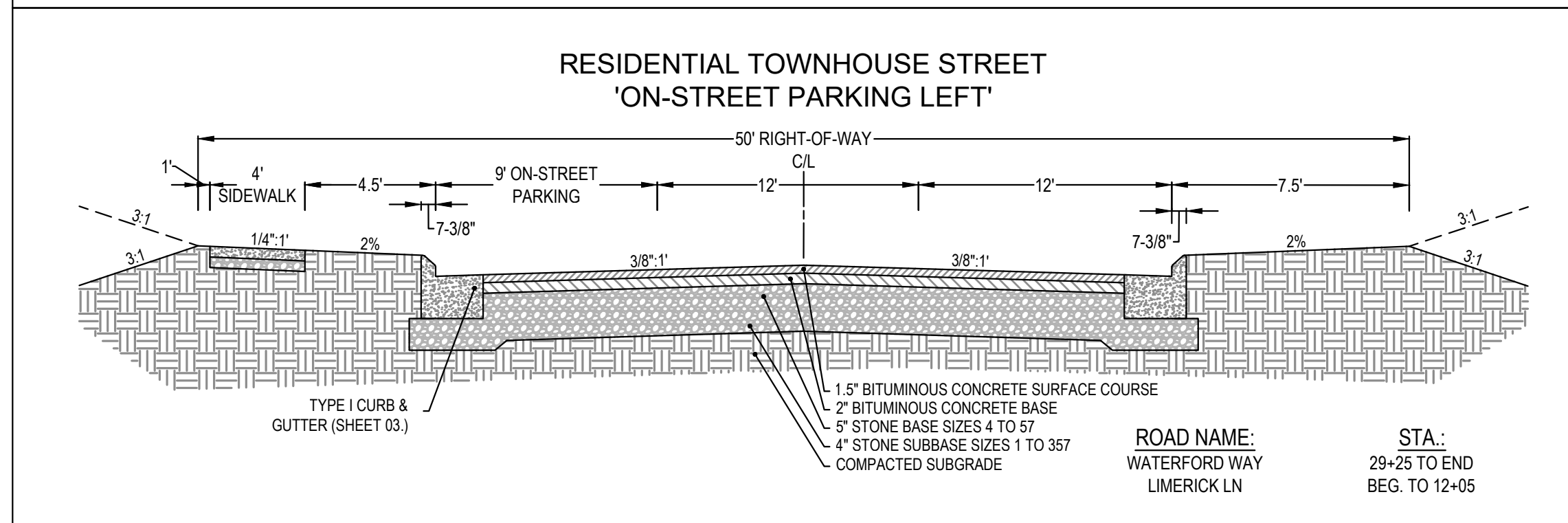
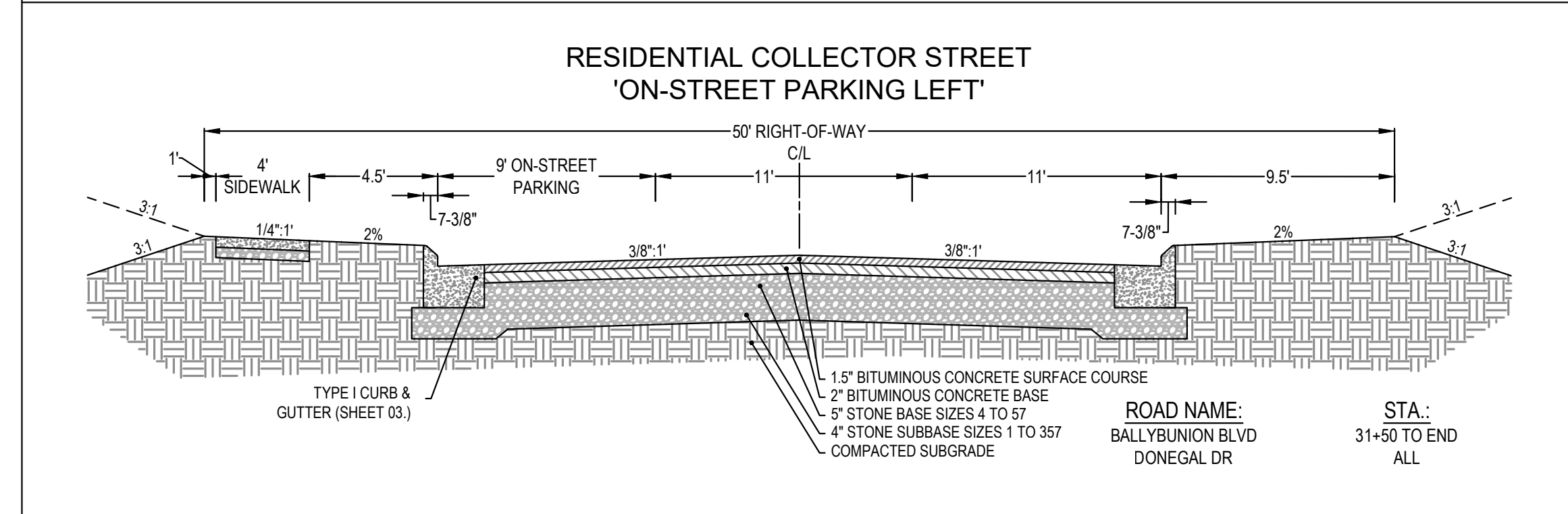
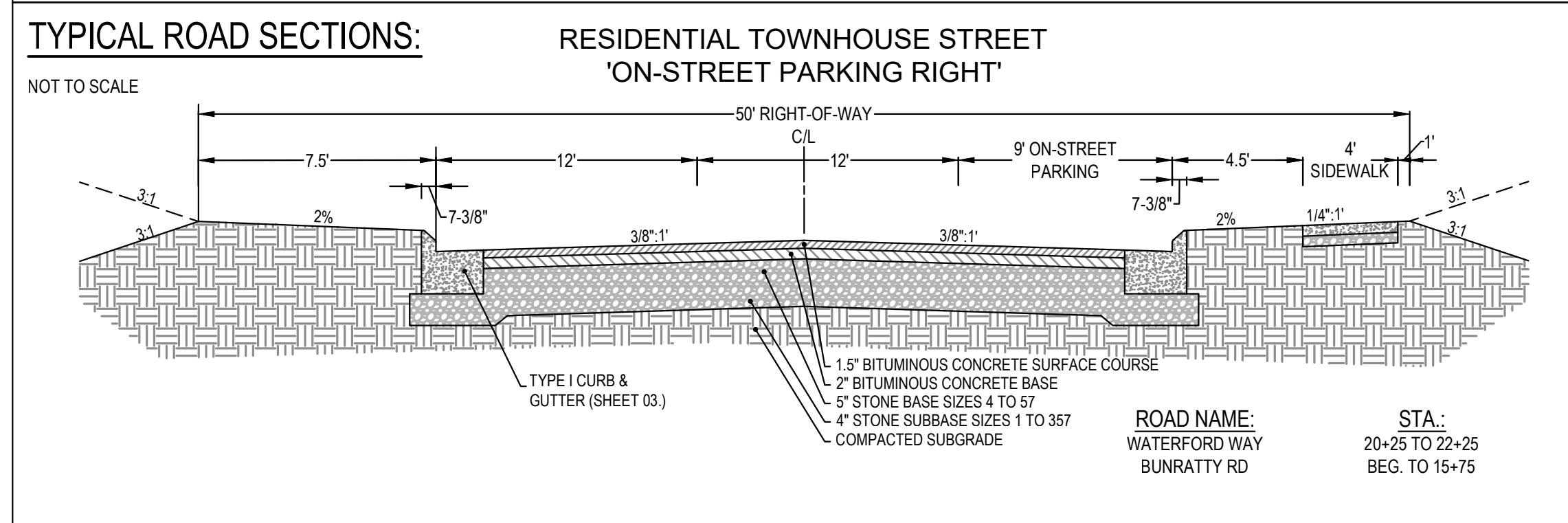
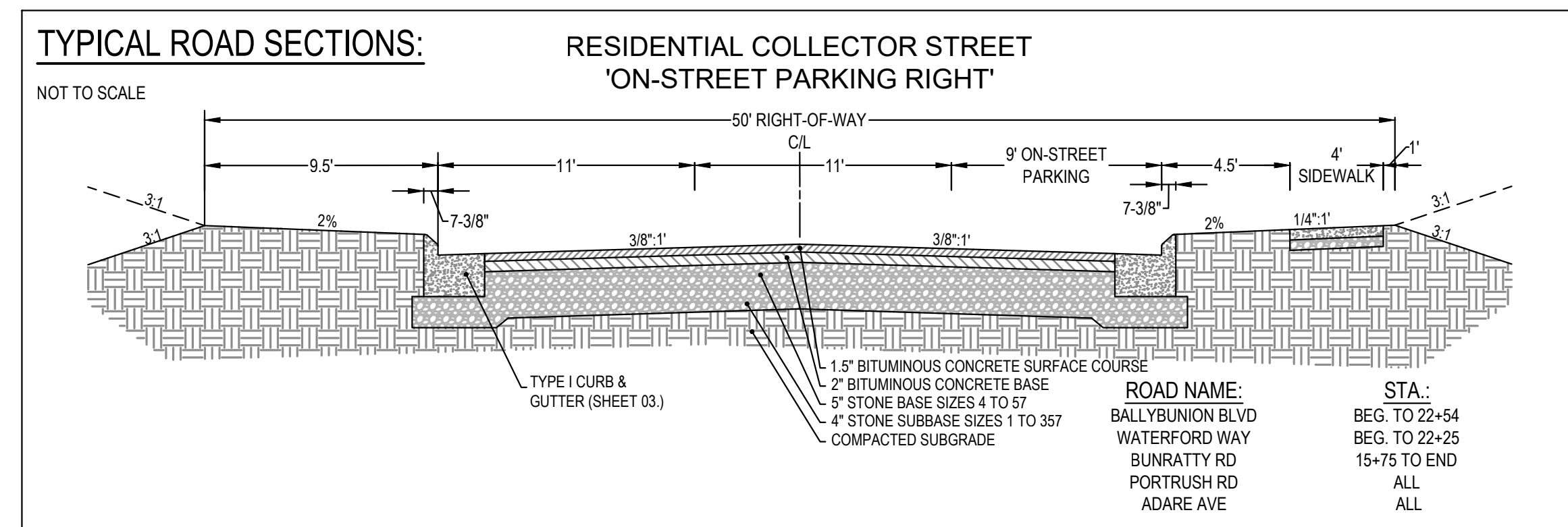
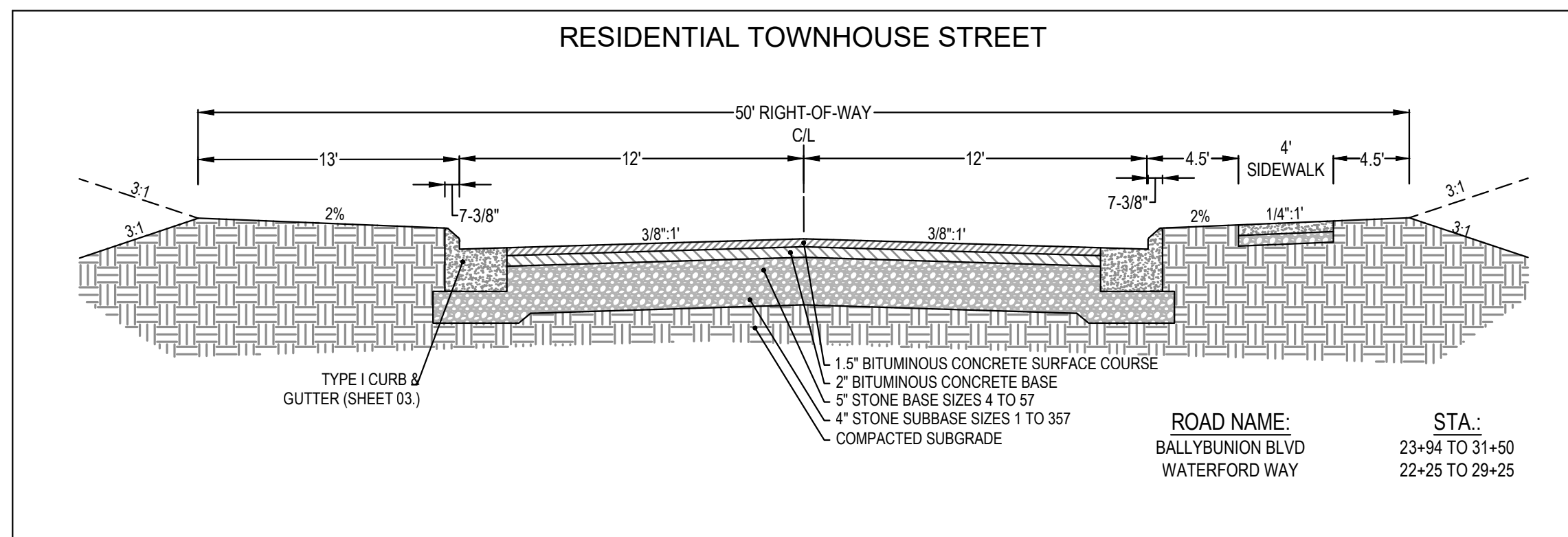
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NO.	REVISIONS

GENERAL DETAILS  
**BIRDHILL MEADOWS SUBDIVISION PHASE 1**  
 TAX MAP 3, PARCEL 29; D.B. 1291, PG. 381  
 MIDDLEWAY TAX DISTRICT  
 JEFFERSON COUNTY, WEST VIRGINIA  
 J.C. FILE #24-12-SD

SCALE:	HORIZ: AS NOTED VERT: N/A
DATE:	JULY 2024
JOB:	3568-0301
DRAWN:	JMM CHECK: JPG
CADD:	C-GI-501.DWG
NCS:	
SHEET:	

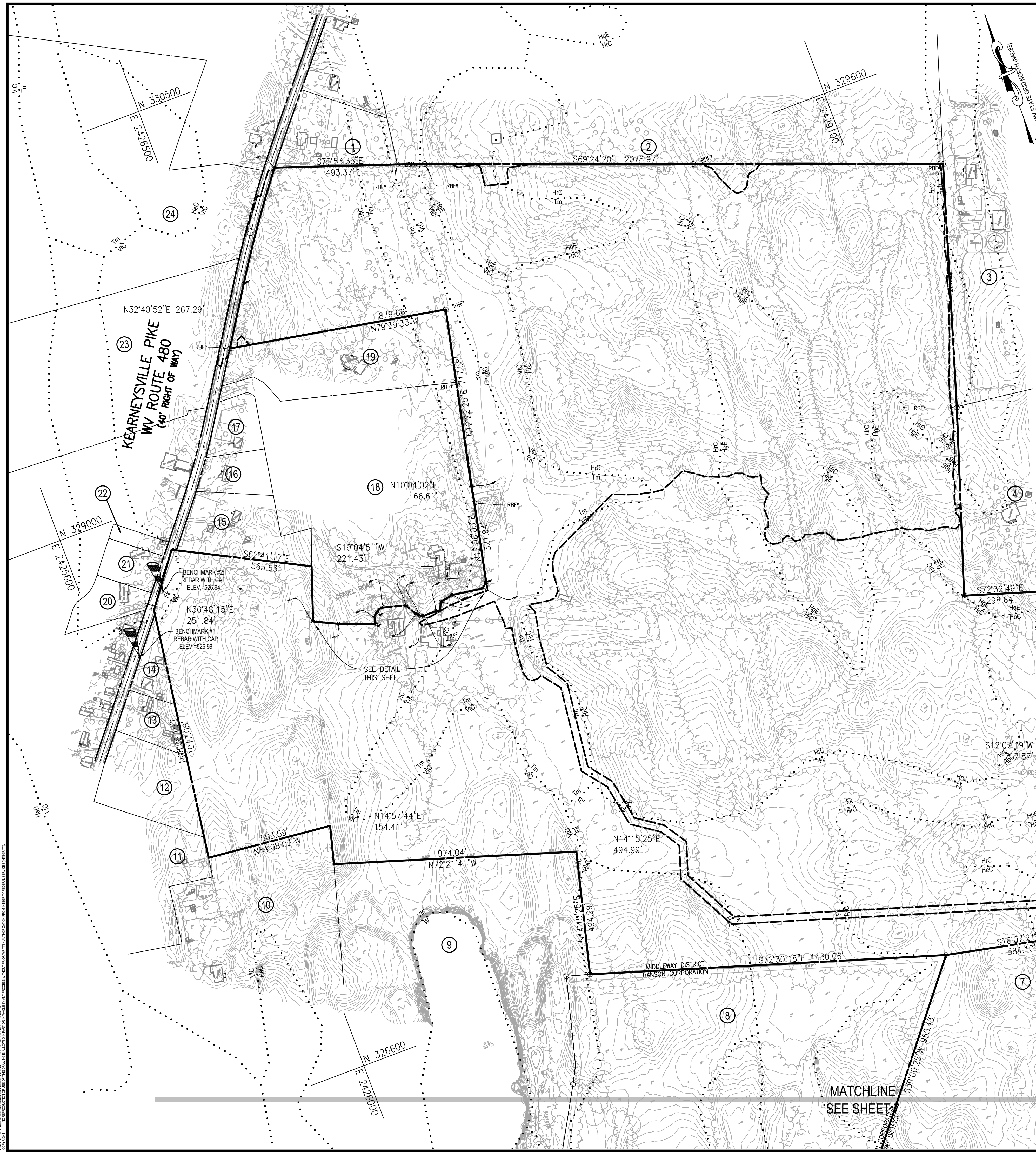


REVISIONS	
1.	10/23/2024 - JEFFERSON COUNTY, WOODH, CTUB, AND WAWV COMMENTS
2.	12/13/2024 - JEFFERSON COUNTY AND CTUB PUMP STATION COMMENTS

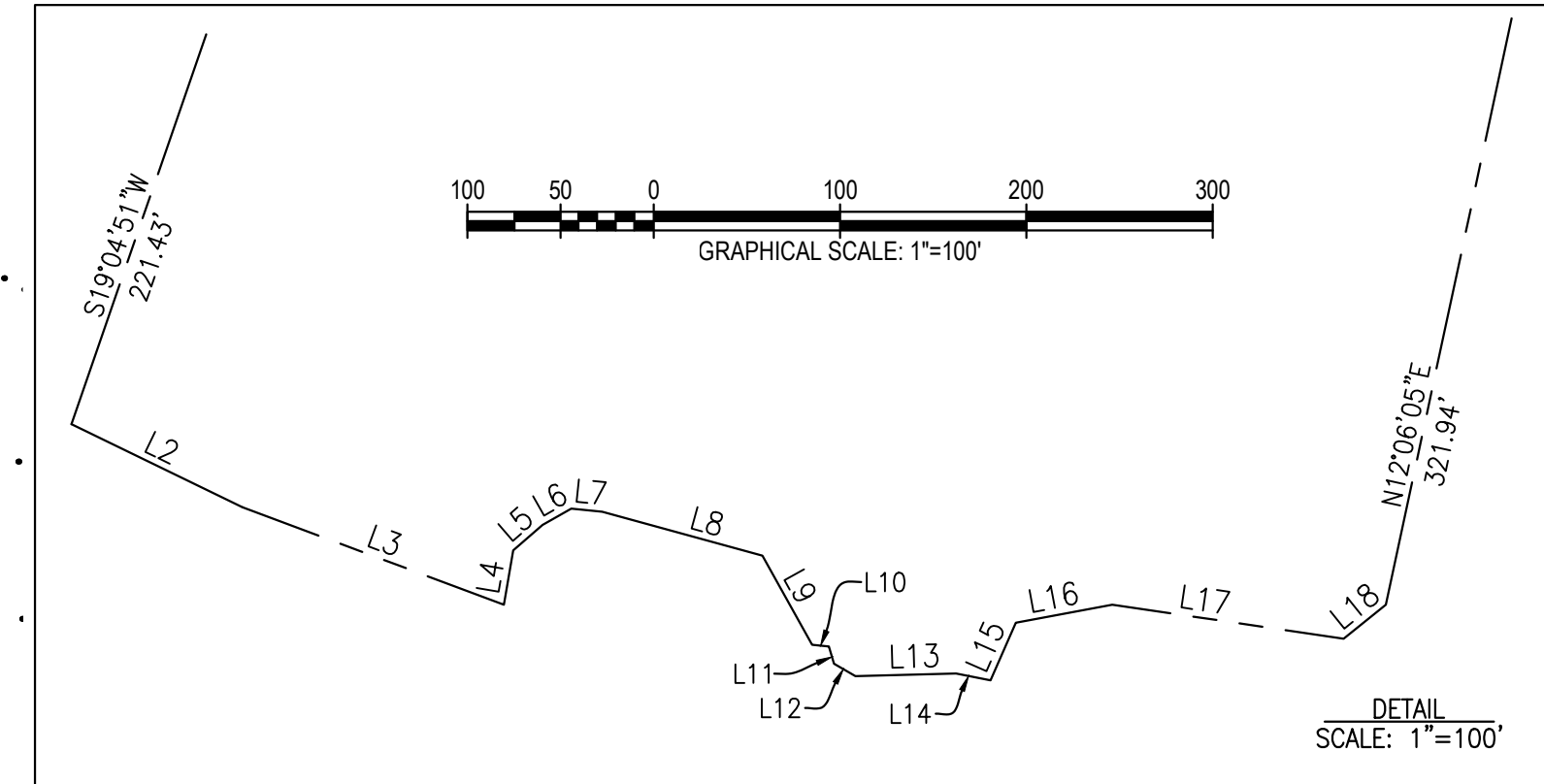
**BIRDHILL MEADOWS  
SUBDIVISION PHASE 1**  
TAX MAP 3, PARCEL 29; D.B. 1291, PG. 381  
MIDDLEWAY TAX DISTRICT  
JEFFERSON COUNTY, WEST VIRGINIA

J.C. FILE #24-12-SD

SCALE:	HORIZ.: AS NOTED VERT.: N/A
DATE:	JULY 2024
JOB:	3568-0301
DRAWN:	JMM
CHECK:	JPG
CADD:	C-GI-501.DWG
NCS:	
SHEET:	5 OF 147



ID	NAME	OWNER ADDRESS	OWNER CITY	STATE	ZIP	PARCEL ID	ZONING	USE	D.B. / PAGE
1	ALEX S & PAULA A BAIN	678 KEARNEYSVILLE PIKE	KEARNEYSVILLE	WV	25430	07 3003300000000	RURAL	RESIDENTIAL	1023/40
2	WALTER L VALLSET AL	67 WHITE ROCK RD	KEARNEYSVILLE	WV	25430	07 3003500010000	RURAL	FARMLAND	1179/318
3	KAREN M FREER	2823 WARM SPRINGS RD	SHEVANDORAH JUNCTION	WV	25442	07 3003700000000	RURAL	FARMLAND	1277/166
4	MASON L HARDY	446 VISTA LN	SHEVANDORAH JUNCTION	WV	25442	07 3003700000000	RURAL	RESIDENTIAL	1079/44
5	ROBERT EBARRAT	210E BURKE ST	MARTINSBURG	WV	25401	07 3003800000000	RURAL	FARMLAND	1089/590
6	ROBERT EBARRAT	210E BURKE ST	MARTINSBURG	WV	25401	07 3003800020000	RURAL	FARMLAND	950/286
7	JEFFERSON ORCHARDS INC	PO BOX 700	KEARNEYSVILLE	WV	25430	07 3003500000000	LIGHT INDUSTRIAL	FARMLAND	1291/381
8	JEFFERSON ORCHARDS INC	PO BOX 700	KEARNEYSVILLE	WV	25430	08 12000100040000	RANSON CORP	COMMERCIAL	1279/126
9	SARAH VALKER ET AL	PO BOX 41	KEARNEYSVILLE	WV	25430	07 3002200000000	RURAL	FARMLAND	882/493
10	WESLEY J FRYE HRS	207 SWEST ST	CHARLES TOWN	WV	25414	07 3002800000000	RURAL	FARMLAND	81/8
11	ROY F & PATRICIA B DICK	PO BOX 618	SHEPHERDSTOWN	WV	25443	07 38001700010000	RURAL	RESIDENTIAL	920/619
12	PAUL F BALTRUNAS	PO BOX 56	SUMMIT POINT	WV	25446	07 3A0033000000000	RURAL	RESIDENTIAL	1107/738
13	PATTL WELSH	234 KEARNEYSVILLE PIKE	KEARNEYSVILLE	WV	25430	07 3A001900010000	VILLAGE	RESIDENTIAL	815/106
14	JAMES & DAWN D WELSH	PO BOX 402	KEARNEYSVILLE	WV	25430	07 3A0019000000000	VILLAGE	RESIDENTIAL	973/188
15	STEVEN A LEE	374 KEARNEYSVILLE PIKE	KEARNEYSVILLE	WV	25430	07 3002900010000	RURAL	RESIDENTIAL	1302/264
16	CASTILLA REINIER CASTILLO & SANTANA LOURDES CASTILLO	414 KEARNEYSVILLE PIKE	KEARNEYSVILLE	WV	25430	07 3002900020000	RURAL	RESIDENTIAL	1282/278
17	RILEY & BRIANNA B THIER	450 KEARNEYSVILLE PIKE	KEARNEYSVILLE	WV	25430	07 3002900030000	RURAL	RESIDENTIAL	1297/454
18	MARIAH K LUKENS	114 LUKENSOR	SHEPHERDSTOWN	WV	25443	07 3003600000000	RURAL	FARMLAND	1145/232
19	MICHAEL & SHAUNA AZAR	498 KEARNEYSVILLE PIKE	KEARNEYSVILLE	WV	25430	07 3003600010000	RURAL	RESIDENTIAL	1189/217
20	DAVID & AMANDA WALLACE	20 TASKER LN	KEARNEYSVILLE	WV	25430	07 3A000800010000	VILLAGE	RESIDENTIAL	1279/432
21	HANS C WANG & MARSSA K MELTON	632 FARRAGUT PL	WASHINGTON	DC	20017	07 3A0008000000000	VILLAGE	RESIDENTIAL	1247/228
22	SHATAYA R FERGUSON	PO BOX 95	KEARNEYSVILLE	WV	25430	07 3A0007000000000	VILLAGE	RESIDENTIAL	1058/987
23	ERIK M & ROSEA WOLF	655 KEARNEYSVILLE PIKE	KEARNEYSVILLE	WV	25430	07 3003000030000	RURAL	FARMLAND	943/132
24	ERIK M & ROSEA WOLF	655 KEARNEYSVILLE PIKE	KEARNEYSVILLE	WV	25430	07 3003000020000	RURAL	FARMLAND	935/684



CURVE	ARC LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BEARING
C1	480.00'	4980.00'	5°31'21"	240.19'	479.81'	S35°26'32"W

LINE	BEARING	DISTANCE
L2	S64°03'26"E	102.05'
L3	S69°33'56"E	149.74'
L4	N09°44'04"E	29.52'
L5	N48°59'44"E	20.86'
L6	N60°20'26"E	17.75'
L7	S84°21'45"E	16.72'
L8	S74°38'44"E	89.11'
L9	S29°07'31"E	54.80'
L10	S84°21'13"E	9.02'
L11	S16°40'19"E	9.69'
L12	S60°00'05"E	13.30'
L13	N88°28'49"E	54.02'
L14	S78°40'46"E	18.81'
L15	N23°47'49"E	33.76'
L16	N79°22'25"E	52.61'
L17	S81°38'58"E	125.52'
L18	N51°13'18"E	29.07'

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NO.	REVISIONS
1	10/23/2024 - JEFFERSON COUNTY, WOOD, CTUB, AND WVAW COMMENTS
2	12/13/2024 - JEFFERSON COUNTY AND CTUB PUMP STATION COMMENTS

**BIRDHILL MEADOWS SUBDIVISION PHASE 1**  
 TAX MAP 3, PARCEL 29, D.B. 1291, PG. 381  
 MIDDLEWAY TAX DISTRICT  
 JEFFERSON COUNTY, WEST VIRGINIA  
 J.C. FILE #24-12-SD

SCALE:	HORIZ: 1"=200'
	VERT: N/A
DATE:	JULY 2024
JOB:	3568-0301
DRAWN:	JMM
CHECK:	JPG
CADD:	C-XP-101.DWG
NCS:	
SHEET:	8 OF 147

NOTE:  
 TIC MARKS/SPCS PER WV NORTH NAD83.



MATCHLINE  
SEE SHEET 6

SARAH WALKER ET AL  
DIST. 7, MAP 3, PAR. 22  
D.B. 852, PG. 493  
ZONE: F - FARM

ROXUL USA INC.  
DIST. 8, MAP 12, PAR. 13  
D.B. 1197, PG. 506  
P.B. 25 PG. 649-652  
ZONE: C - COMMERCIAL

JEFFERSON ORCHARDS, INC.  
DIST. 7, MAP 3, PAR. 35  
D.B. 1199, PG. 506  
PRIOR TO MERGER  
D.C. 9,782,076 SQ. FT. OR 223,876.88 AC  
ZONE: F - FARM

N/F  
ROBERT E. BARRAT  
D.B. 950, PG. 286  
DIST. 7, MAP 3, PAR. 38.2  
P.B. 16, PG. 55A

24' BUILDING RESTRICTION LINE  
P.B. 25, PG. 649

STORM WATER EASEMENT  
D.B. 1255, PG. 559

EXISTING 100' ACCESS AND  
UTILITY EASEMENT  
D.B. 1279, PG. 24

MIDDLEWAY DISTRICT  
RANSON CORPORATION

TRACT I  
ROXUL USA INC.  
DIST. 8, MAP 12, PAR. 13  
D.B. 1197, PG. 506  
P.B. 25 PG. 649-652

24' BUILDING RESTRICTION LINE  
P.B. 25, PG. 649

100' WDOH  
RIGHT-OF-WAY

N/F  
JEFFERSON ORCHARDS, INC.  
DIST. 8, MAP 12,  
RESIDUE OF PAR. I  
D.B. 284, PG. 460  
P.B. 25 PG. 649-652

N/F  
JEFFERSON ORCHARDS, INC.  
DIST. 7, MAP 4, PAR. I  
D.B. 1046, PG. 282

N/F  
TRUSTEES BURYING GROUND  
DIST. 7, MAP 4, PAR. I.4  
D.B. 98, PG. 68

TRACT I  
ROXUL USA INC.  
DIST. 8, MAP 12, PAR. 13  
D.B. 1197, PG. 506  
P.B. 25 PG. 649-652

24' BUILDING RESTRICTION LINE  
P.B. 25, PG. 649

N/F  
JEFFERSON ORCHARDS, INC.  
DIST. 8, MAP 12,  
RESIDUE OF PAR. I  
D.B. 284, PG. 460  
P.B. 25 PG. 649-652

N/F  
WINSTON THREADGILL, JR.  
DIST. 7, MAP 4, PAR. I.2  
D.B. 1085, PG. 195

N/F  
THOMAS C. BOWERS  
DIST. 7, MAP 4, PAR. 5  
D.B. 804, PG. 284

S65°27'27"E  
230.80'

24' BUILDING RESTRICTION LINE  
P.B. 25, PG. 649

100' WDOH  
RIGHT-OF-WAY

N 322900  
E 242900

VETERANS MEMORIAL HIGHWAY  
WV ROUTE 9

S28°18'18"W  
62.70'

S36°33'55"W  
375.25'

S32°30'42"W  
131.99'

NORTHPORT AVENUE  
(ORIG. WITH RIGHT OF WAY)

NOTE:  
TIC MARKS/SPCS PER WV NORTH NAD83.



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SEAL:

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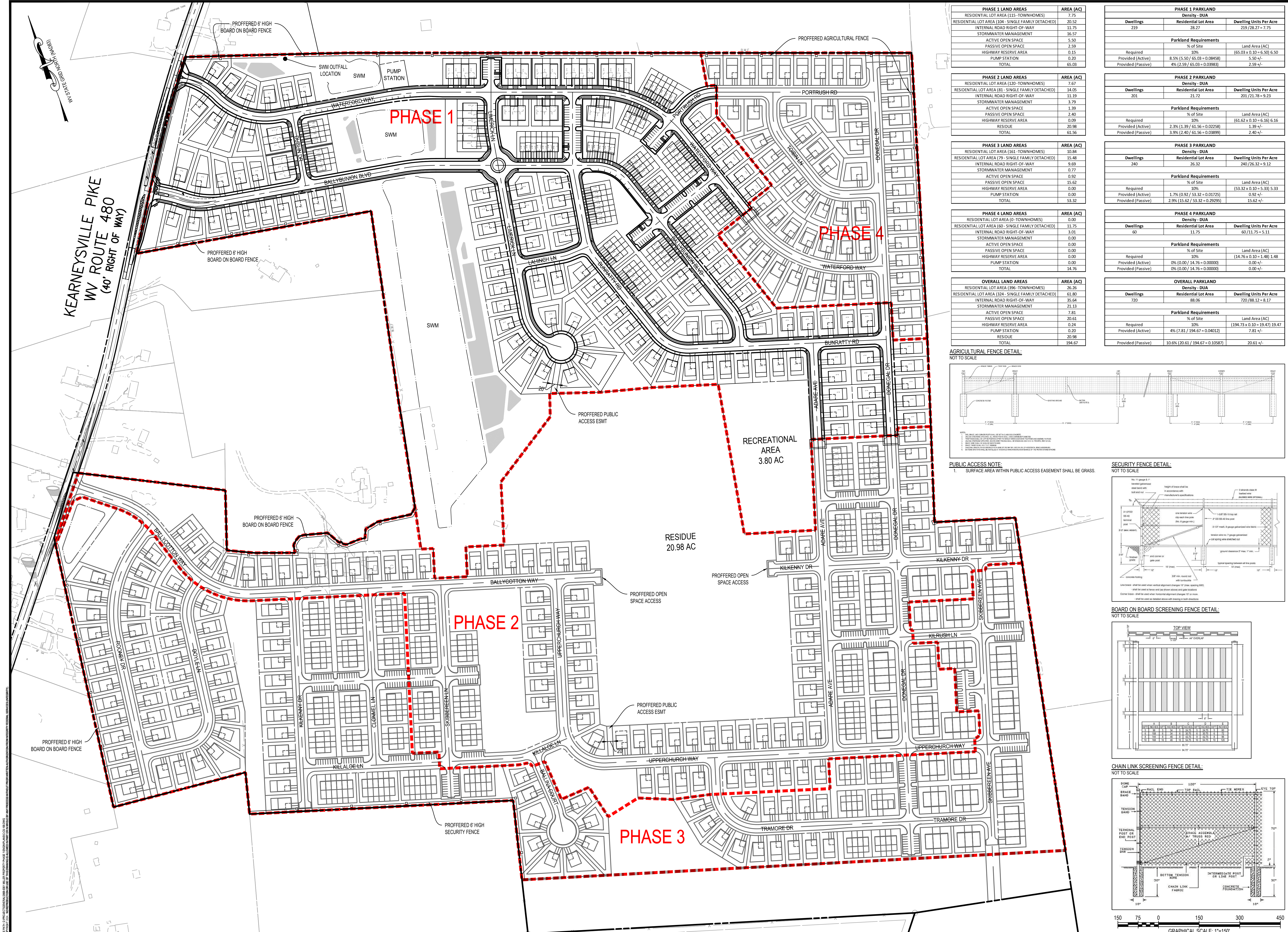
NO.	REVISIONS
1.	10/23/2024 - JEFFERSON COUNTY, WDOH, CTUB, AND WWAY COMMENTS
2.	12/13/2024 - JEFFERSON COUNTY AND CTUB PUMP STATION COMMENTS

EXISTING CONDITIONS

**BIRDHILL MEADOWS  
SUBDIVISION PHASE 1**  
TAX MAP 3, PARCEL 29; D.B. 1291, PG. 381  
MIDDLEWAY TAX DISTRICT  
JEFFERSON COUNTY, WEST VIRGINIA

J.C. FILE #24-12-SD

SCALE:	HORIZ.: 1"=200'
	VERT.: N/A
DATE:	JULY 2024
JOB:	3568-0301
DRAWN:	JMM
CHECK:	JPG
CADD:	C-XP-101.DWG
NCS:	
SHEET:	7 OF 147



PHASE 1 LAND AREAS	AREA (AC)
RESIDENTIAL LOT AREA (115-TOWNHOMES)	7.75
RESIDENTIAL LOT AREA (104-SINGLE FAMILY DETACHED)	20.52
INTERNAL ROAD RIGHT-OF-WAY	11.75
STORMWATER MANAGEMENT	16.57
ACTIVE OPEN SPACE	5.50
PASSIVE OPEN SPACE	2.59
HIGHWAY RESERVE AREA	0.15
PUMP STATION	0.20
TOTAL	65.03

PHASE 2 LAND AREAS	AREA (AC)
RESIDENTIAL LOT AREA (120-TOWNHOMES)	7.67
RESIDENTIAL LOT AREA (81-SINGLE FAMILY DETACHED)	14.05
INTERNAL ROAD RIGHT-OF-WAY	11.19
STORMWATER MANAGEMENT	3.79
ACTIVE OPEN SPACE	1.39
PASSIVE OPEN SPACE	2.40
HIGHWAY RESERVE AREA	0.09
RESIDUE	20.98
TOTAL	61.56

PHASE 3 LAND AREAS	AREA (AC)
RESIDENTIAL LOT AREA (161-TOWNHOMES)	10.84
RESIDENTIAL LOT AREA (79-SINGLE FAMILY DETACHED)	15.48
INTERNAL ROAD RIGHT-OF-WAY	9.69
STORMWATER MANAGEMENT	0.77
ACTIVE OPEN SPACE	0.92
PASSIVE OPEN SPACE	15.62
HIGHWAY RESERVE AREA	0.00
PUMP STATION	0.00
TOTAL	53.32

PHASE 4 LAND AREAS	AREA (AC)
RESIDENTIAL LOT AREA (10-TOWNHOMES)	0.00
RESIDENTIAL LOT AREA (80-SINGLE FAMILY DETACHED)	11.75
INTERNAL ROAD RIGHT-OF-WAY	3.01
STORMWATER MANAGEMENT	0.00
ACTIVE OPEN SPACE	0.00
PASSIVE OPEN SPACE	0.00
HIGHWAY RESERVE AREA	0.00
PUMP STATION	0.00
TOTAL	14.76

OVERALL LAND AREAS	AREA (AC)
RESIDENTIAL LOT AREA (396-TOWNHOMES)	26.26
RESIDENTIAL LOT AREA (134-SINGLE FAMILY DETACHED)	61.80
INTERNAL ROAD RIGHT-OF-WAY	35.64
STORMWATER MANAGEMENT	21.13
ACTIVE OPEN SPACE	7.81
PASSIVE OPEN SPACE	20.61
HIGHWAY RESERVE AREA	0.24
PUMP STATION	0.20
RESIDUE	20.98
TOTAL	194.67

PHASE 1 PARKLAND	Density - DUA	Residential Lot Area	Dwelling Units Per Acre
Dwellings	219	28.27	219/28.27 = 7.75
Parkland Requirements			
% of Site	10%	Land Area (AC)	
Required (Active)	8.5% (5.50 / 65.03 = 0.08458)	(65.03 x 0.10 = 6.50)	6.50
Provided (Passive)	4% (2.59 / 65.03 = 0.03983)		2.59 v/f

PHASE 2 PARKLAND	Density - DUA	Residential Lot Area	Dwelling Units Per Acre
Dwellings	201	21.72	201/21.78 = 9.23
Parkland Requirements			
% of Site	10%	Land Area (AC)	
Required (Active)	2.3% (1.39 / 61.56 = 0.02258)	(61.62 x 0.10 = 6.16)	6.16
Provided (Passive)	3.9% (2.40 / 61.56 = 0.03899)		2.40 v/f

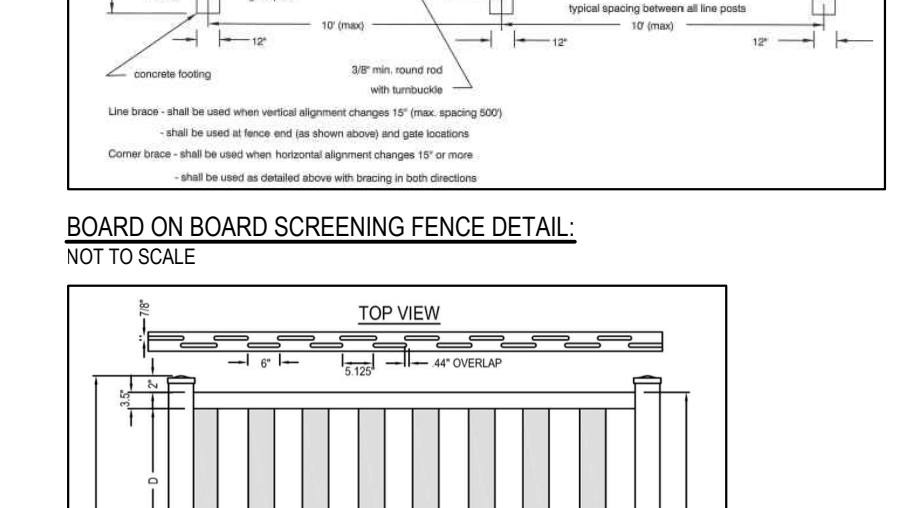
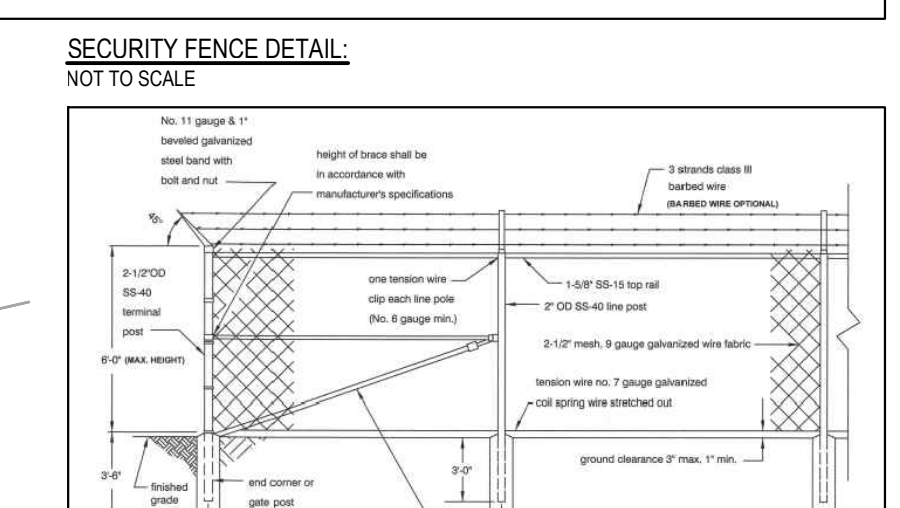
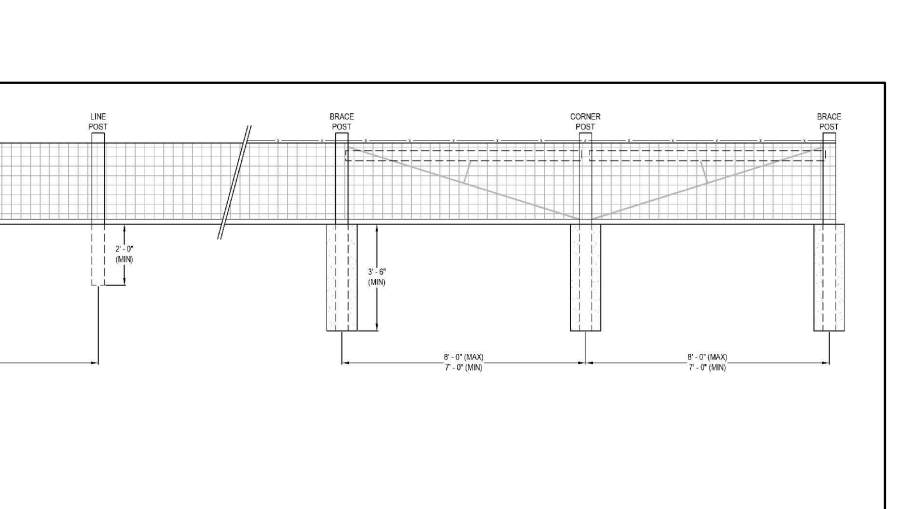
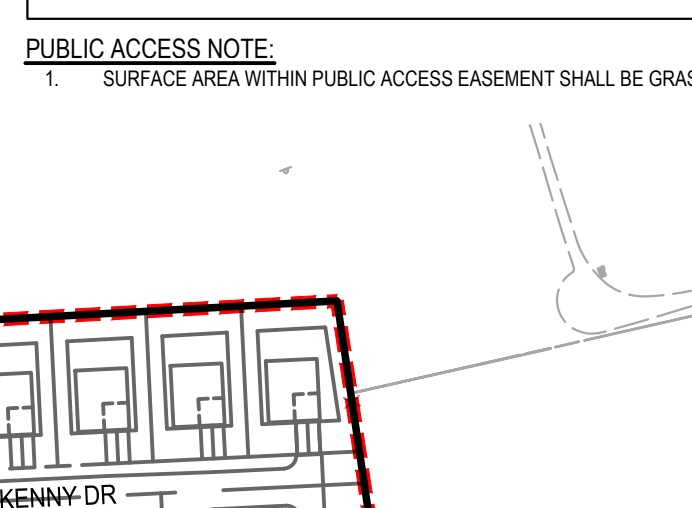
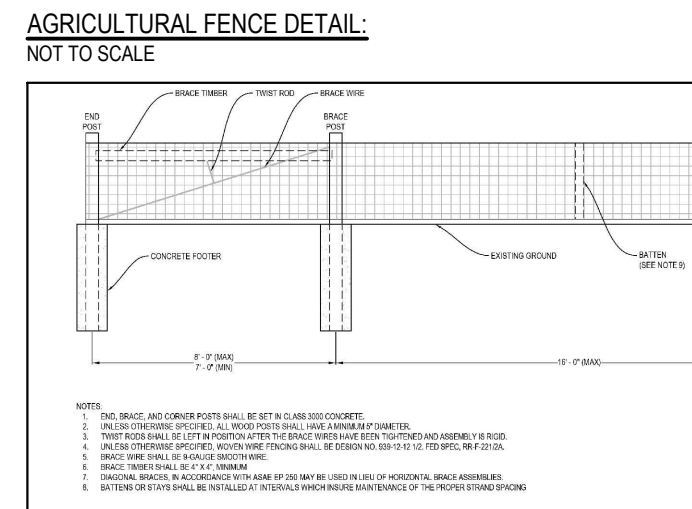
PHASE 3 PARKLAND	Density - DUA	Residential Lot Area	Dwelling Units Per Acre
Dwellings	240	26.32	240/26.32 = 9.12
Parkland Requirements			
% of Site	10%	Land Area (AC)	
Required (Active)	1.7% (0.92 / 53.32 = 0.01725)	(53.32 x 0.10 = 5.33)	5.33
Provided (Passive)	2.9% (15.62 / 53.32 = 0.29255)		15.62 v/f

PHASE 4 PARKLAND	Density - DUA	Residential Lot Area	Dwelling Units Per Acre
Dwellings	60	11.75	60/11.75 = 5.11
Parkland Requirements			
% of Site	10%	Land Area (AC)	
Required (Active)	0% (0.00 / 14.76 = 0.00000)	(14.76 x 0.10 = 1.48)	1.48
Provided (Passive)	0% (0.00 / 14.76 = 0.00000)		0.00 v/f

OVERALL PARKLAND	Density - DUA	Residential Lot Area	Dwelling Units Per Acre
Dwellings	720	88.06	720/88.12 = 8.17
Parkland Requirements			
% of Site	10%	Land Area (AC)	
Required (Active)	4% (7.81 / 194.67 = 0.04012)	(194.73 x 0.10 = 19.47)	19.47
Provided (Passive)	10.6% (20.61 / 194.67 = 0.10587)		20.61 v/f



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SEAL: [Professional Engineer Seal]

REVISIONS

NO.	DATE	DESCRIPTION
1.	10/23/2024	JEFFERSON COUNTY, WOOD, CTUB, AND WAWV COMMENTS
2.	12/13/2024	JEFFERSON COUNTY AND CTUB PUMP STATION COMMENTS

OVERALL AND FUTURE SITE PHASING  
**BIRDHILL MEADOWS SUBDIVISION PHASE 1**  
TAX MAP 3, PARCEL 29; D.B. 1291, PG. 381  
MIDDLEWAY TAX DISTRICT  
JEFFERSON COUNTY, WEST VIRGINIA  
J.C. FILE #24-12-SD

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